

**PUP2023-00012**  
**Zoning**  
Mutifamily  
Brookland District

400 Feet

PS June 2023 Ref: 776-737-7348



John A. Vithoukas  
County Manager

September 19, 2023

Maywill Development, LLC  
1000 Carlisle Avenue  
Richmond, VA 23231

RE: Provisional Use Permit PUP2023-00012

Dear Ms. Freund:

The Board of Supervisors, at its meeting on September 12, 2023, approved your request for a Provisional Use Permit under Section 24-3708 of Chapter 24 of the County Code to allow a mixed-use, master planned development on Parcel 776-737-5035 and part of Parcel 776-737-7348 located north of the intersection of Thalbro Street and Westmoreland Street, subject to the following conditions:

1. **Master Plan.** The master plan for the property shall consist of all layouts, architectural, streetscape, and landscaping documents submitted as part of this request (see case file). All development on the property shall be in general conformance with the master plan, unless otherwise approved at the time of Plan of Development review.
2. **Height Limitations.** Buildings shall be limited to 100' in height.
3. **Reservation of Future Right of Way or Access Easement.** The plan of development shall provide for the ability to construct a future roadway (public or private) along the property's northern boundary to create additional access between Thalbro Street and Westmoreland Street. Evidence of necessary easements shall be provided prior to final plan of development approval in a form approved by the Director of Planning.
4. **Architectural Treatment.** Any building on the property shall be designed in general conformance with the architectural themes displayed in the elevations dated July 20, 2023 prepared by Poole & Poole Architecture, LLC, a copy of which is attached.
5. **Materials.** Any building on the property shall be a combination of any of the following: masonry and cementitious siding. No vinyl siding shall be used. Alternate materials may be allowed if requested by Owner and specifically approved by the



Director of Planning upon a finding that such materials are of equivalent quality, function, or manufacture to those specifically enumerated above.

6. **Sidewalks and Street Lights.** Sidewalks shall be provided along all public street frontages and internal drives or roads, in addition to those areas indicated on the master plan (see case file) in a manner determined at the time of POD review. Street lights shall be provided along adjacent public streets and internal drives and roads in a manner determined at the time of lighting plan review.
7. **POD Supplementary Submittal Requirements.** With each Plan of Development application for a portion of the Property, the Owner shall prepare and submit to the Director of Planning the following (the "POD Supplements"):
  - a. Streetscape & Landscape Plan, which shall include, as applicable, all hardscaping, vegetative screening, streetscape plantings, foundation plantings, and any other landscape elements required by the Director of Planning.
  - b. Lighting Plan; and
  - c. Pedestrian Connection Plan, which shall include all improvements designed to facilitate pedestrian circulation and connectivity.
  - d. Each of the POD Supplements shall be reviewed for general conformance with the Master Plan. Deviations may be approved by the Director of Planning in connection with any subsequent Plan of Development, subdivision approval, or any other variation permitted by the Director upon a finding that the variations are generally in keeping with the spirit and concept of the Master Plan.
8. **Fire Access.** Prior to approval of construction plans for the development, the applicant shall provide the Director of Planning evidence that any building restrictions on adjacent property necessary to meet fire access requirements have been agreed to by the owner of such property.
9. **Emergency Communication Systems.** The owner shall install a fire command center and emergency radio communication equipment within any new building exceeding 60 feet in height to allow for adequate public safety and radio coverage within and between the buildings. A communications consultant shall certify such equipment as compatible with the County's emergency communication system within 90 days of the owner or tenant obtaining a Certificate of Occupancy for any such building. The County shall be permitted to perform communications testing within the buildings at any time.

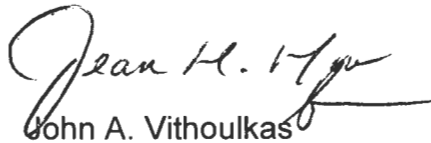
10. **Fire Protection-Structured Parking.** A 3" standpipe for fire protection shall be provided within all structured parking at approximately 200' intervals. The exact location of these improvements will be determined by the Division of Fire during Plan of Development review.
11. **Fire Protection.** All structures, including parking structures, other than open, standalone parking garages, shall be fully sprinkled for fire protection.
12. **Crime Prevention.** Prior to occupancy of any structure containing commercial or office uses, the applicant and the Crime Prevention Unit of the Division of Police shall conduct a security survey of the property. The applicant shall implement mutually agreed upon security recommendations.
13. **Parking Plan.** Parking may be reduced in accordance with the parking plan analysis dated June 13, 2023, but shall in no case be less than the combined peak parking demand for any proposed uses as shown in Table 1 of the reference document (see case file). Any plan of development submitted for the property shall include a tabulation of all parking required per a licensed engineer's determination. Shared parking information, including updates to the parking calculations demonstrating the parking rate is meeting the needs of approved development on the property, shall be provided with each plan of development or as requested by the Director of Planning. Each plan of development submitted shall identify the location and means of creating additional parking that could accommodate the difference between the reduced parking standard approved by this permit and the standards contained in the Henrico County Code.
14. **Amenities.** Amenities consistent with the Master Plan (see case file) shall be provided on the property in a manner determined at the time of plan of development review.
15. **Residential Density and Unit Size.** There shall be no more than 268 dwelling units developed on the property. No dwelling units shall have more than 2 bedrooms. A minimum of 1 parking space per bedroom shall be provided.
16. **Residential Recycling Facilities.** Recycling shall be provided for the multi-family development for so long as the County either provides or sponsors some form of recycling. Outside recycling and refuse collection area(s) provided shall comply with the requirements set forth in Section 24-4427 of the Zoning Ordinance.



17. **Prohibited Uses.** The following uses shall be prohibited as part of the master-planned development:
- a. Adult uses
  - b. Crematory or funeral home
  - c. Shooting range, indoor
  - d. Alternative lending institutions
  - e. Auction house
18. **Streetscape.** Development of streetscapes shall be in general conformance with the streetscape exhibit titled "Conceptual Internal Streetscape" and "Streetscape", all dated July 20, 2023 (see case file), unless otherwise approved at the time of Plan of Development.

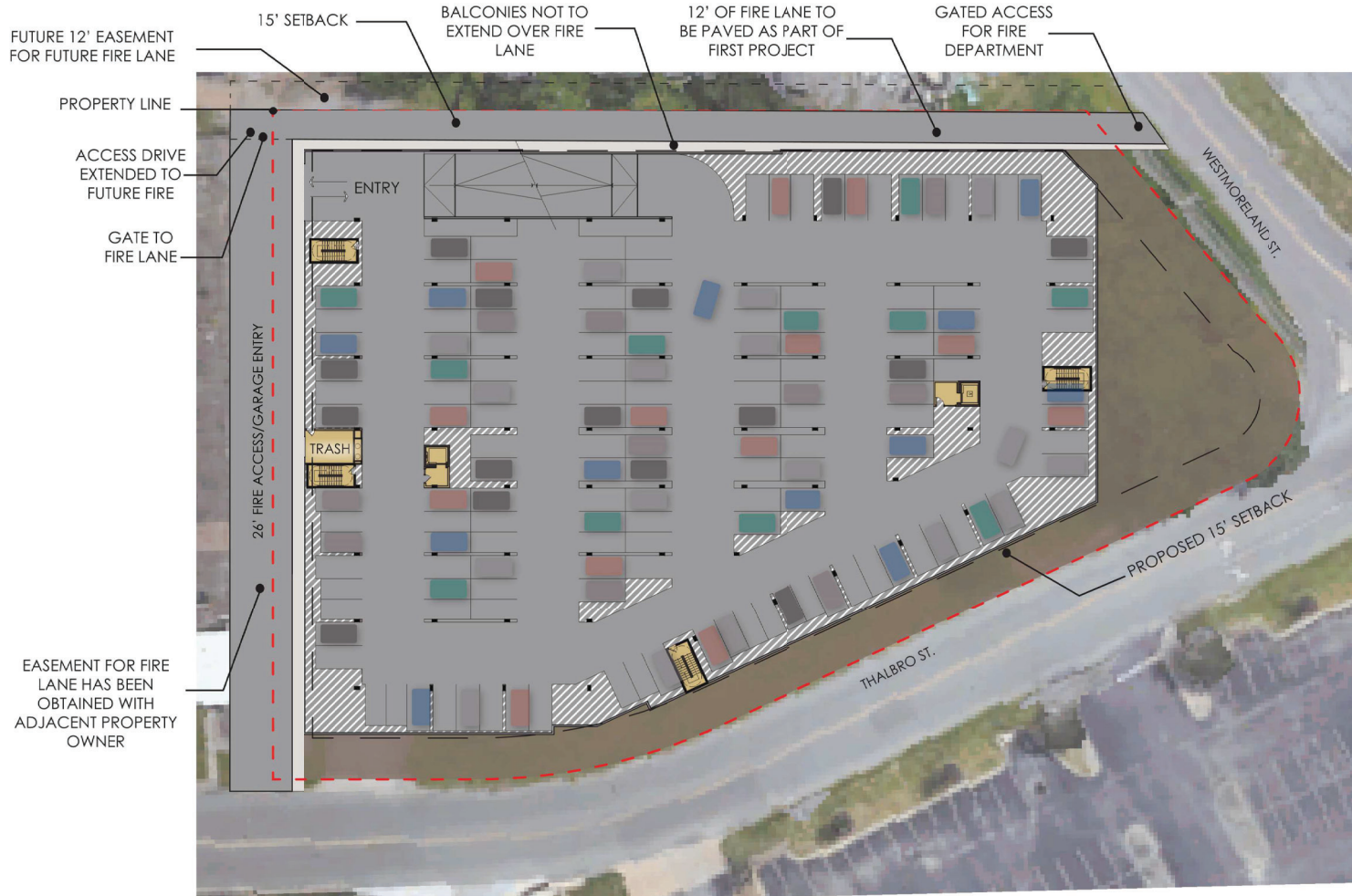
The Planning Department has been advised of the action of the Board of Supervisors and requested to revise its records.

Sincerely,

  
John A. Vithoukas  
County Manager

pc: 2030 Westmoreland LLC  
MJF Maywill, LLC  
Andrew M. Condlin  
Director, Real Estate Assessment  
Henrico County Public Schools

# FULTON HILL PROPERTIES



## PROJECT DATA:

5 Stories Residential  
over 2 Story Podium

## UNITS:

268 Units

5 Studios  
214 One Bedrooms  
49 Two Bedroom

**TOTAL: 268 Units**  
(729 S.F. Average)

AMENITY: 8,524 S.F.

## PARKING:

Podium: 317 Spaces

**TOTAL: 317 Spaces**

**COMMERCIAL: 3,504 S.F.**

1 Site Plan - Lower Podium Level  
Scale: N.T.S.

Plan

## 2102 Maywill

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PUP2023-00012

July 20, 2023

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1 Site Plan - Upper Podium Level  
Scale: N.T.S.

Plan

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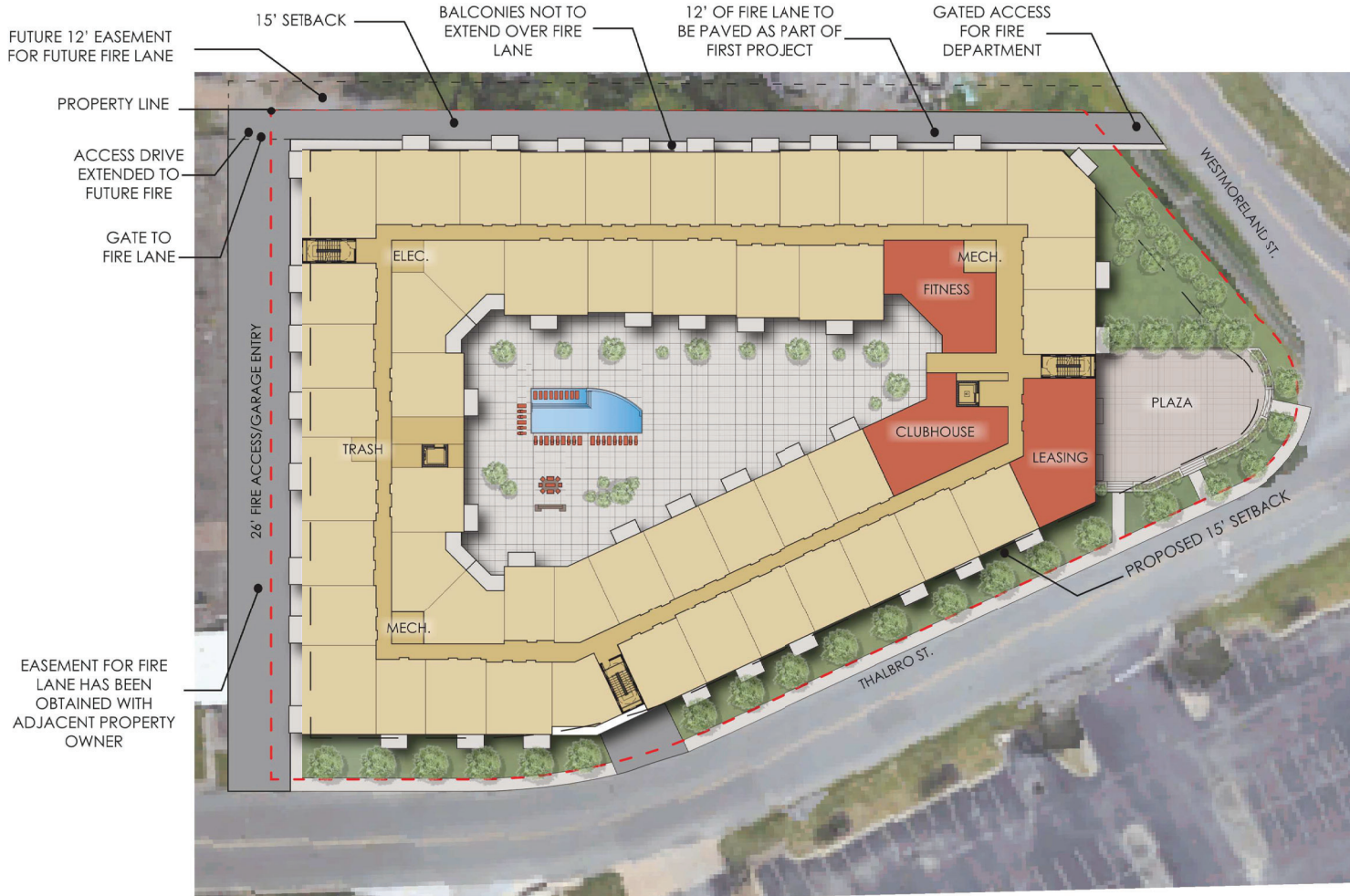
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1 Site Plan - Ground Residential Level  
Scale: N.T.S.

Plan

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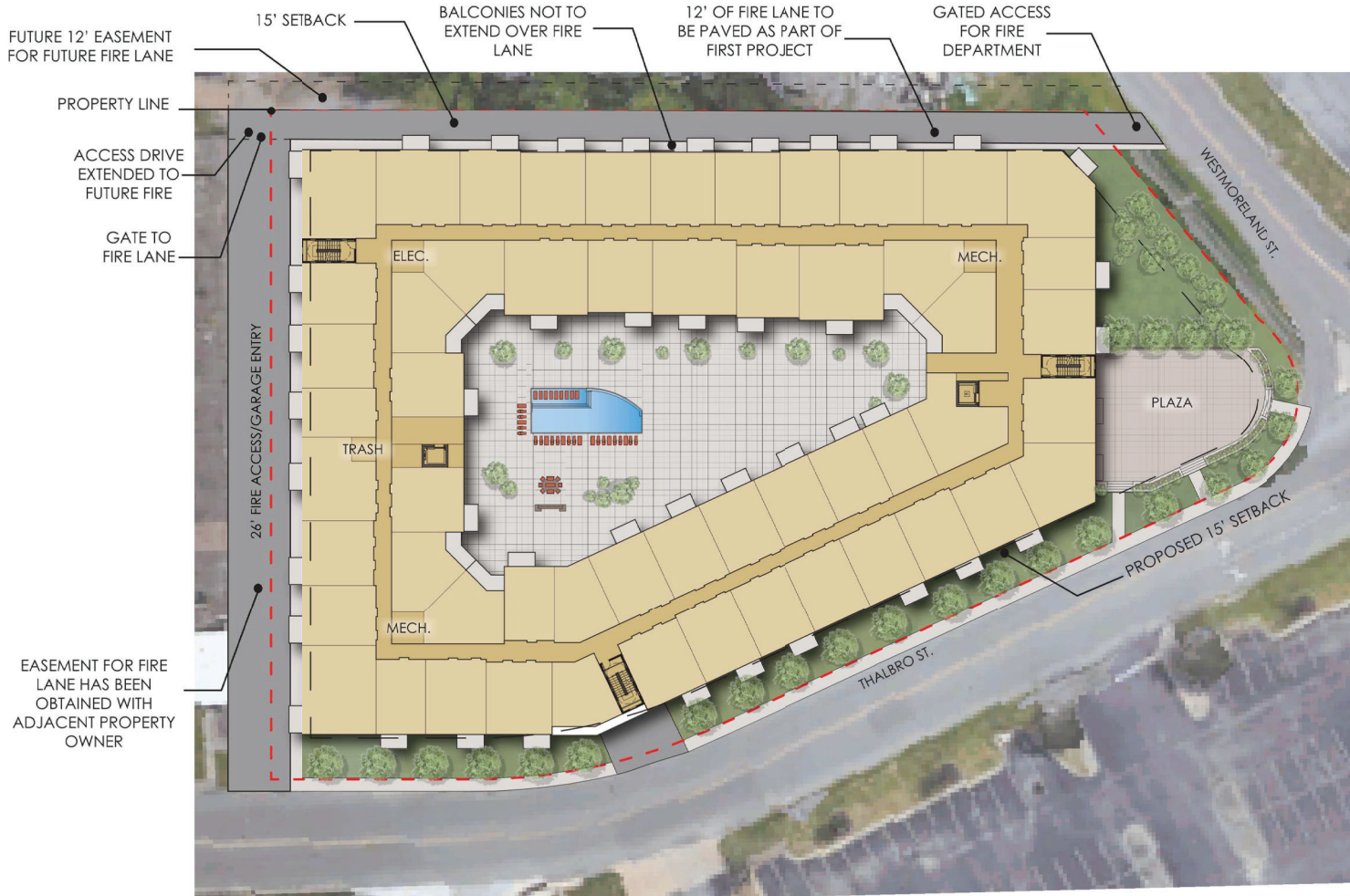
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1 Site Plan - Typical Residential Level  
Scale: N.T.S.

Plan

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1 Perspective - Thalbro St. and Westmoreland St.  
Scale: NTS

Elevation

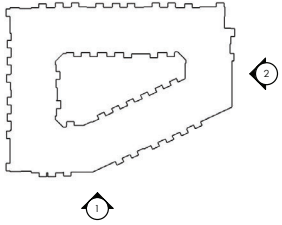




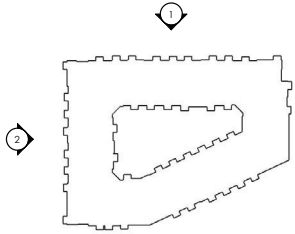


1 Perspective - Thalbro St.  
Scale: NTS

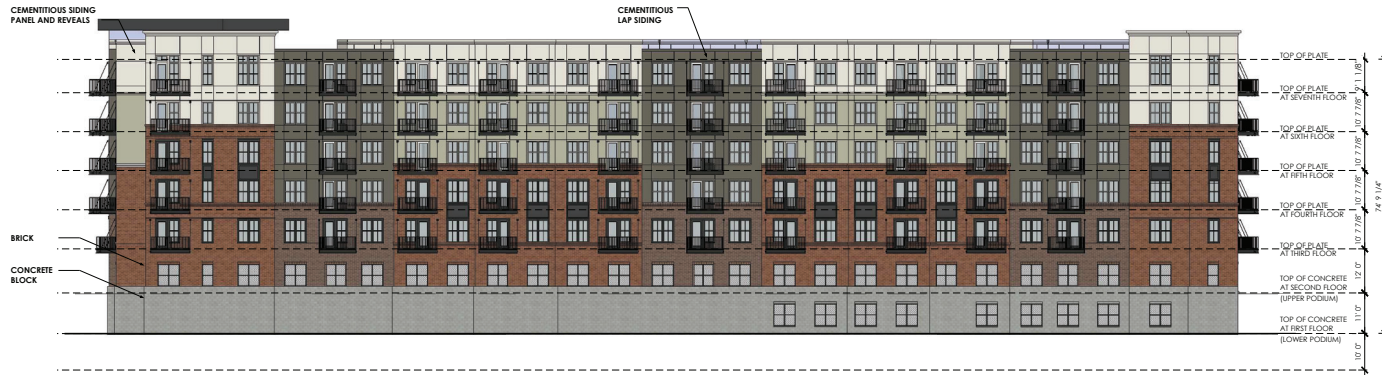
Elevation





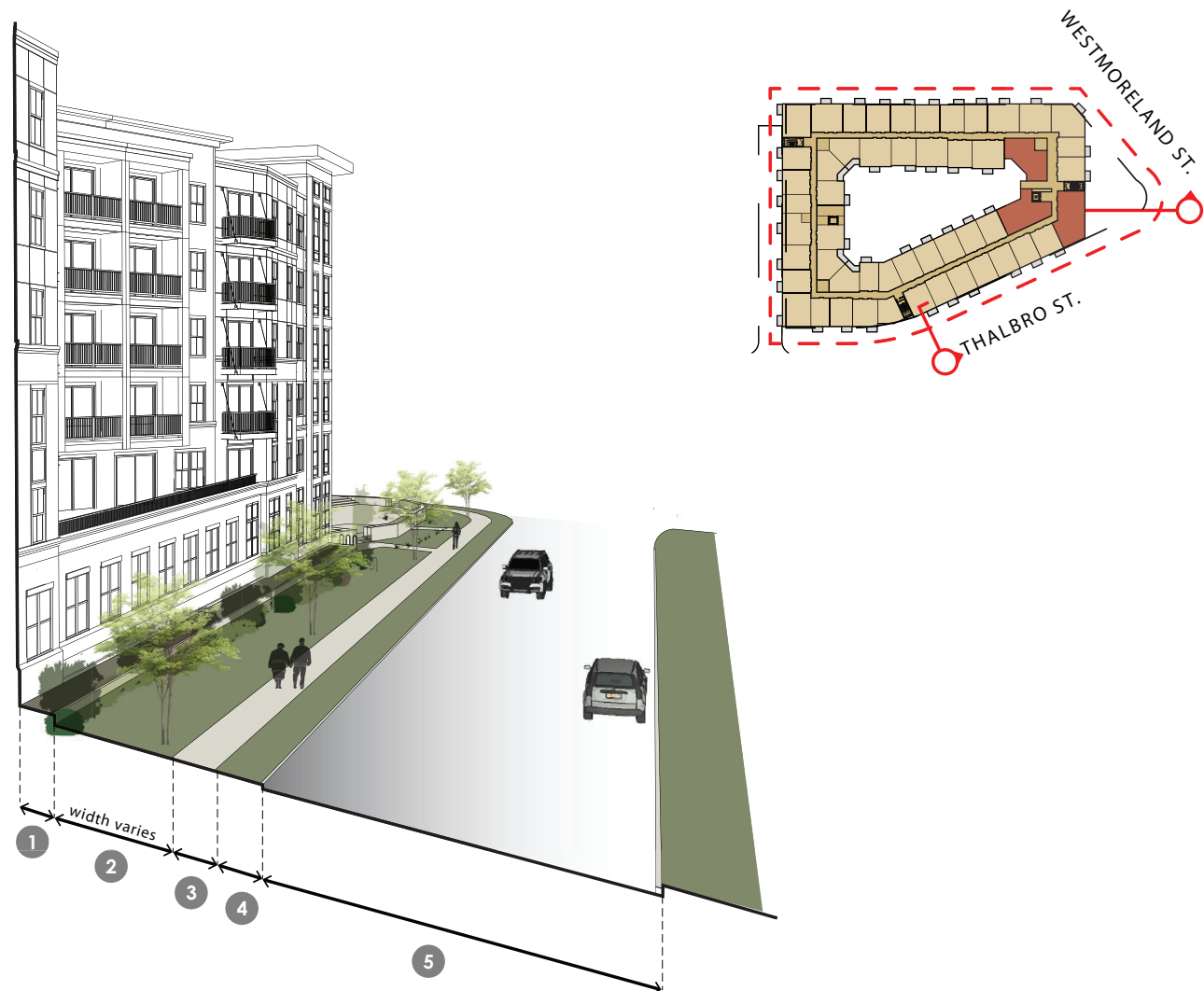


**2 Right Elevation**  
Scale: 1/16" = 1'-0"  
Elevation



**1 Back Elevation**  
Scale: 1/16" = 1'-0"  
Elevation





**KEY:**

- 1. Landscape Buffer
- 2. 5' Min. Landscape Strip W/ Tree line
- 3. 5' Min. Sidewalk
- 4. 2' Min. Landscape Strip
- 5. Thalbro Street

**Conceptual Internal Streetscape**



- KEY:**
- 1. Plaza
  - 2. 5' Min. Landscape Strip W/ Tree line
  - 3. 5' Min. Sidewalk
  - 4. 2' Min. Landscape Strip
  - 5. Westmoreland Street

**Conceptual Internal Streetscape**



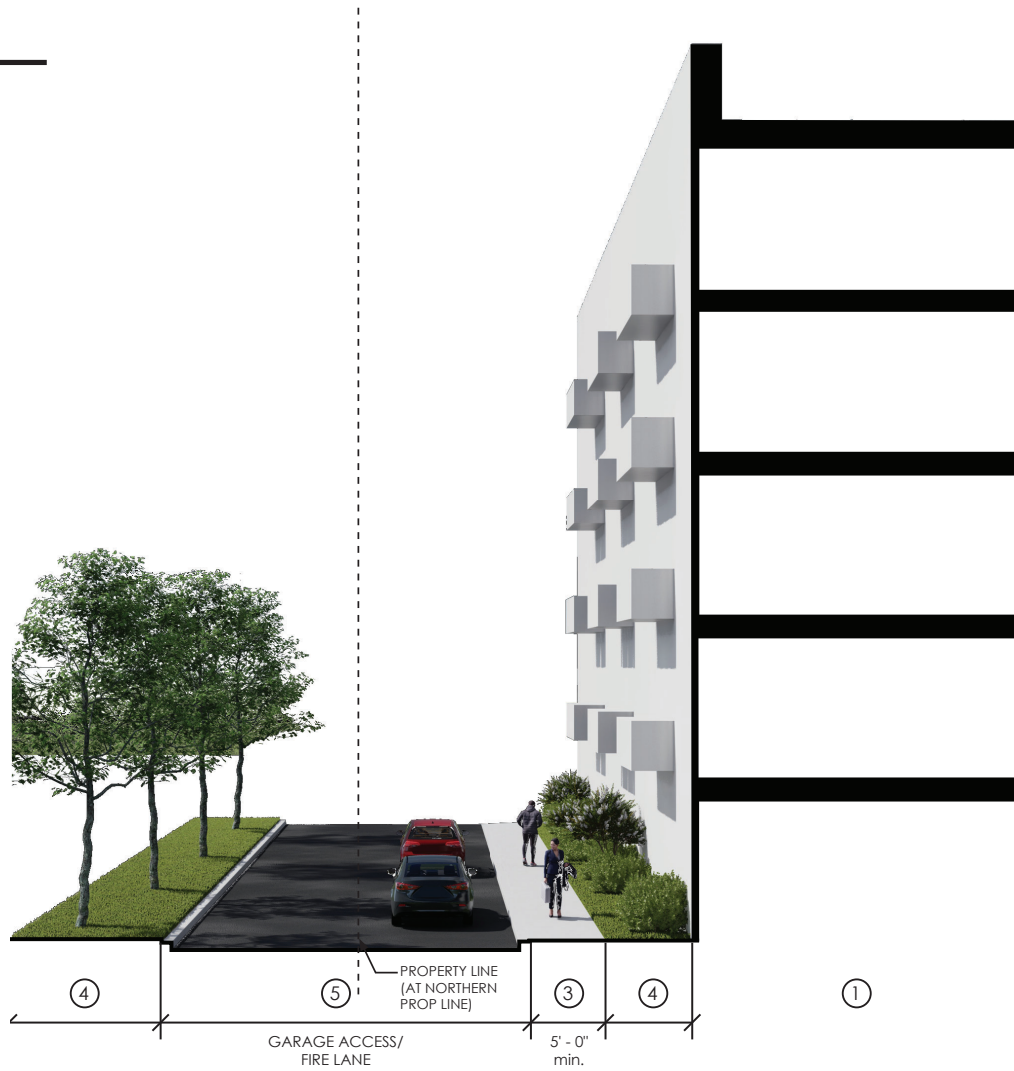


# FULTON HILL PROPERTIES

## STREETSCAPE MAP

### KEY

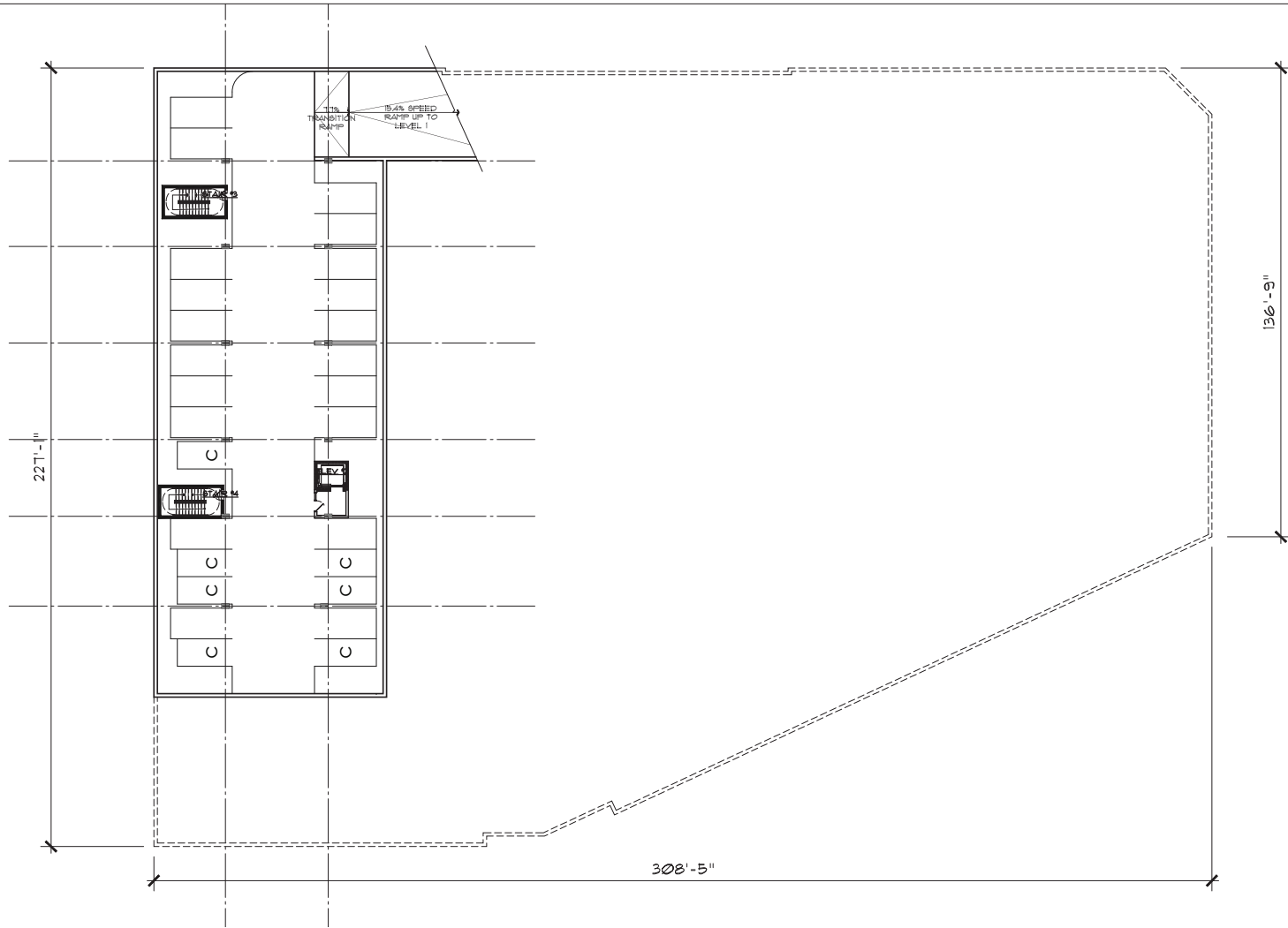
- ① RESIDENTIAL
- ② LANDSCAPE BUFFER
- ③ SIDEWALK
- ④ LANDSCAPE STRIP (WHERE APPLICABLE)
- ⑤ DRIVE AISLE



③ Garage Access / Fire Lane

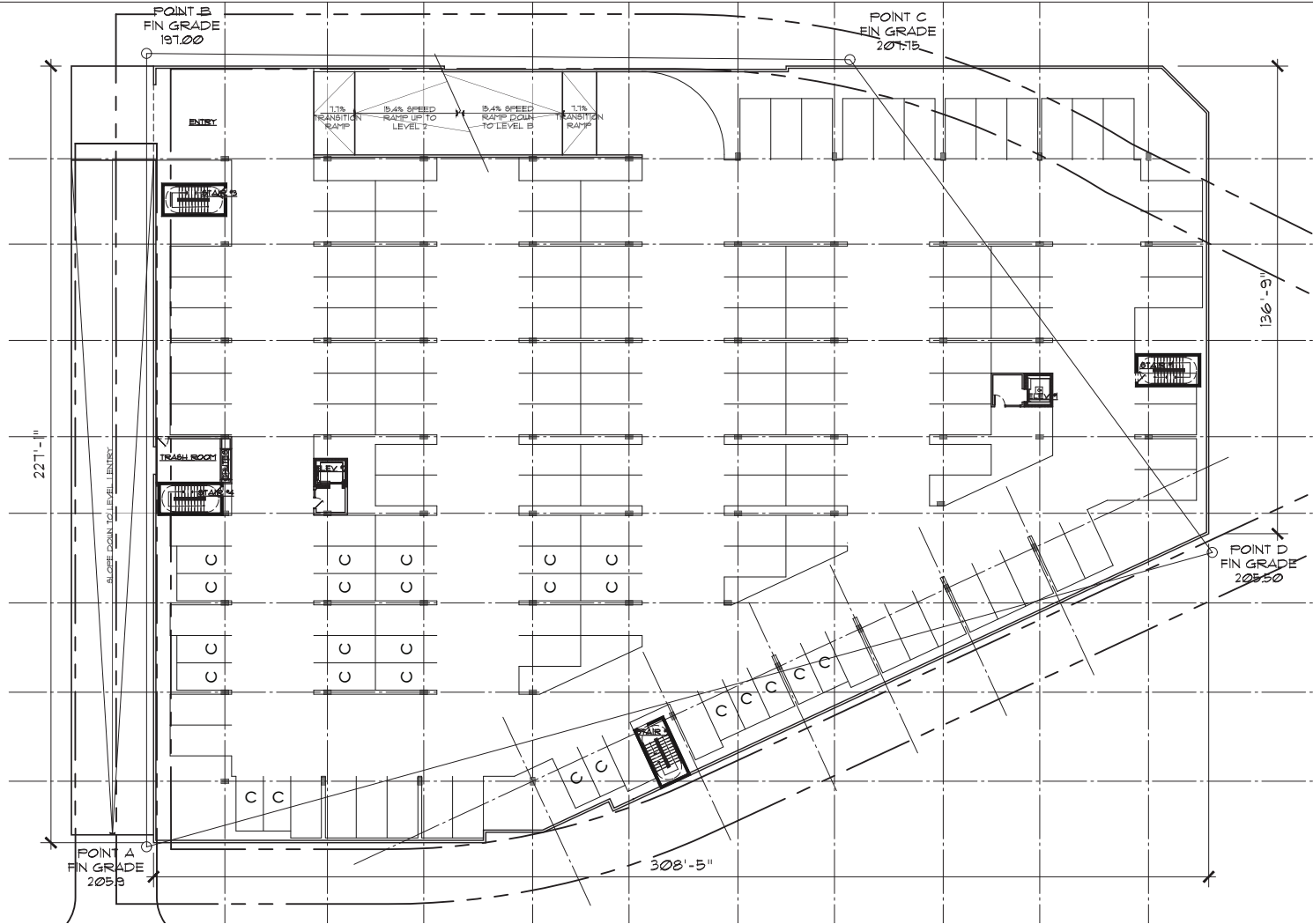
## Streetscape



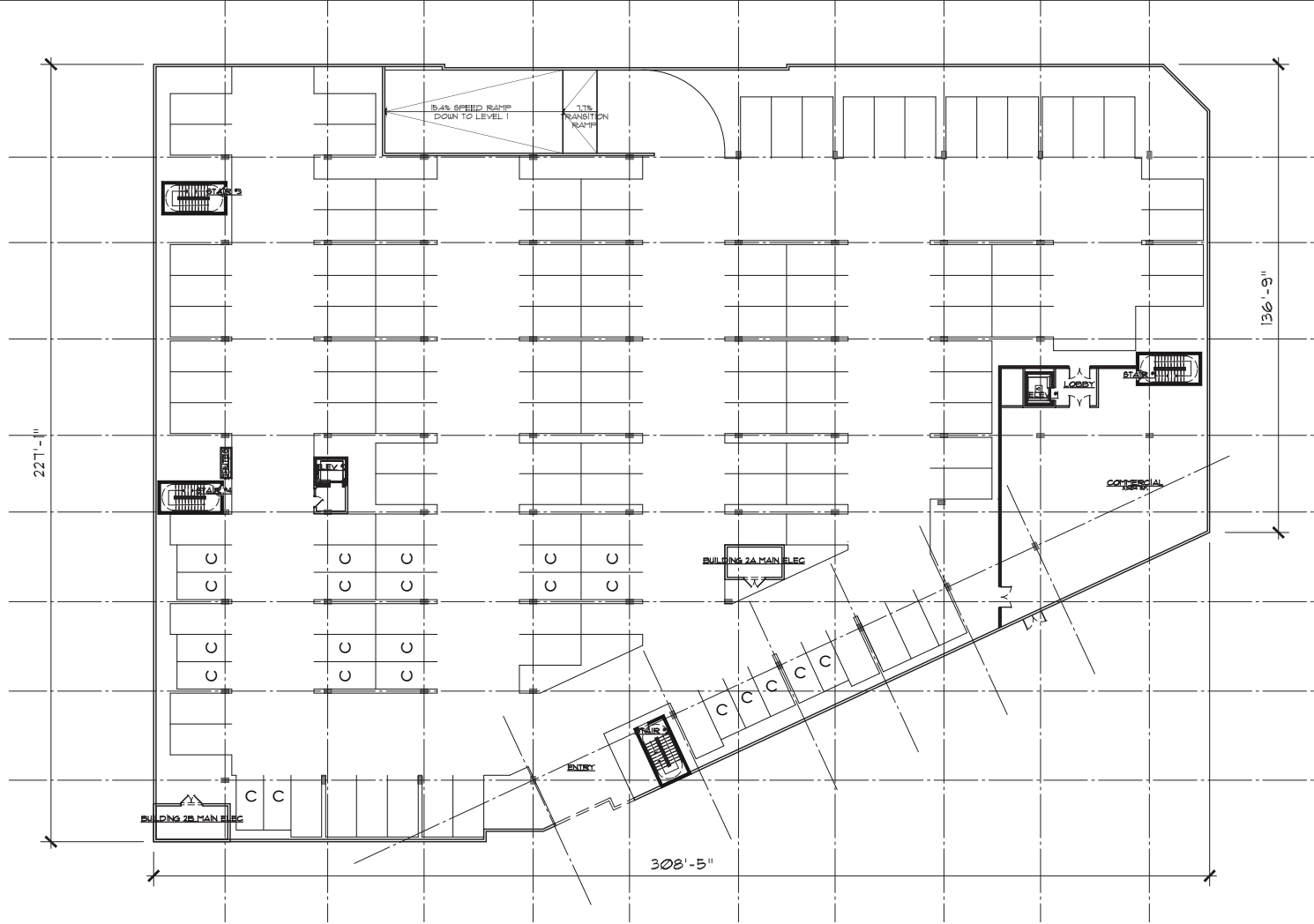


1 Level 0 - Basement Podium Level  
Scale: 1/32" = 1'-0"





1 Level 1 - Lower Podium Level  
Scale: 1/32" = 1'-0"



1 Level 2 - Upper Podium Level  
Scale: 1/32" = 1'-0"





① Level 3 - First Residential Level  
 Scale: 1/32" = 1'-0"



1 Level 4 - Second Residential Level  
Scale: 1/32" = 1'-0"



1 Level 5 - Third Residential Level  
Scale: 1/32" = 1'-0"





1 Level 6 - Fourth Residential Level  
Scale: 1/32" = 1'-0"



1 Level 7 - Fifth Residential Level  
Scale: 1/32" = 1'-0"