

SUBJECT PROPERTY

PUP2023-00009
Zoning
 Mixed-Use
 Three Chopt District

400 Feet

PS May 2023 Ref: 733-765-4819



John A. Withoukaskas
County Manager

September 19, 2023

Stanley Martin Companies, LLC
4701 Cox Road, Ste. 104
Glen Allen, VA 23060

RE: Provisional Use Permit PUP2023-00009

Dear Sir/Madam:

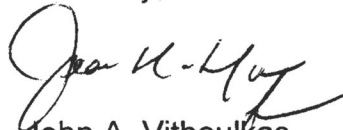
The Board of Supervisors, at its meeting on September 12, 2023, approved your request for a Provisional Use Permit under Sections 24-2306 and 24-4315.C of Chapter 24 of the County Code to allow commercial uses and zoning modifications as part of a master-planned development on part of Parcel 733-765-4819 located at the northwest intersection of W. Broad Street (U.S. Route 250) and N. Gayton Road, subject to the following conditions:

1. **Concept Plan.** All development on the property must be in general conformance with the Concept Plan approved as Exhibit A with rezoning case, REZ2023-00022 (see case file), unless otherwise approved at the time of Plan of Development Review.
2. **Architectural Design.** Any new buildings must be constructed consistent with the elevations approved with rezoning case REZ2023-00022 (see case file), unless otherwise approved at the time of Plan of Development Review.
3. **Density.** No more than 102 new residential units can be constructed on the property, consistent with the approved Master Plan (see case file).
4. **Sidewalks.** Sidewalks must be provided along all public street frontages, and internal pedestrian connections from new development areas must be provided to such sidewalk. Sidewalks must be provided along all internal streets and drives in the manner shown on the concept plan.
5. **Amenities.** Amenities consistent with the Concept Plan and Elevations approved with rezoning case REZ2023-00022 or any subsequent rezoning amendment must be provided on the property in a manner determined at the time of Plan of Development Review.

6. **Pedestrian Lighting.** Site lighting must be designed to provide lighting for pedestrians along adjacent public roadways and internal project areas in a manner approved at the time of Lighting Plan Review. Pedestrian-scaled lighting must be consistent with the submitted exterior furnishing elements of the Master Plan (see case file).
7. **Setbacks.** Setbacks may be reduced from those otherwise required by Zoning Ordinance and Neighborhood Compatibility standards, but in no case can they be less than shown on the Concept Plan approved with rezoning case REZ2023-00022 (see case file).
8. **Crime Prevention.** Prior to occupancy of any structure containing commercial or office uses, the applicant and the Crime Prevention Unit of the Division of Police must conduct a security survey of the property. The applicant must implement mutually agreed upon security recommendations.
9. **Parking Plan.** Parking may be reduced in accordance with the parking plan titled "Parking Generation Analysis for Proposed Townhomes at Gayton Road and Broad Street", dated December 17, 2021, but in no case can be less than the combined peak parking demand for any proposed uses as shown on Table 1 or Table 2 of the referenced document (see case file). Any Plan of Development submitted for the property must include a tabulation of all parking required per a licensed engineer's determination. Shared parking information, including updates to the parking calculations demonstrating the parking rate is meeting the needs of approved development on the property, must be provided with each Plan of Development or as requested by the Director of Planning.
10. **Proffers.** All proffers accepted with rezoning case REZ2023-00022, or any subsequent rezoning amendment will be made a part of this Provisional Use Permit.

The Planning Department has been advised of the action of the Board of Supervisors and requested to revise its records.

Sincerely,



John A. Vithoukas
County Manager

pc: 
SKM LLC
Andrew M. Condlin
Director, Real Estate Assessment



- SITE PLAN LEGEND**
- A AMENITY AREA A**
HARDSCAPED GATHERING AREA WITH A PERGOLA, SEATING, PEDESTRIAN LIGHTING, AND LANDSCAPING
 - B AMENITY AREA B**
HARDSCAPED GATHERING AREA WITH A PAVILION, FIRE PIT, SEATING, PEDESTRIAN LIGHTING, AND LANDSCAPING
 - C FLEXIBLE OPEN SPACE**
GAZEBO, SEATING, AND LANDSCAPING
 - D PEDESTRIAN AMENITY AREA**
HARDSCAPED SIDEWALK WITH BENCHES AND SITE LIGHTING
 - E ENHANCED LANDSCAPE AREAS**
 - F RETAINING WALL**
 - G STAIRS**
 - H SHADE TREES**
 - I ORNAMENTAL TREES**

WEST VILLAGE RESIDENTIAL
HENRICO COUNTY, VIRGINIA

EXHIBIT A
PUP2023-00009



SITE PLAN RENDERING
06.22.2023 SCALE: 1" = 40'



August 18, 2023



OPTIONAL METAL ROOFS

OPTIONAL METAL ROOFS

COBBLESTONE HARDIE BOARD & BATTEN SIDING

ASPHALT SHINGLES

MP-KINGSTON CLAY TRIM

OPTIONAL METAL ROOFS

PG-CLAY WINDOWS

LIGHT MIST HARDIE BOARD AND BATTEN SIDING
COLONY POINTE BRICK

ARTIC WHITE HARDIE PAINTED MDO PANEL
BLUE RIDGE REGENT BRICK

LIGHT MIST HARDIE BOARD AND BATTEN SIDING
HAMILTON BRICK

GRAY SLATE HARDIE BOARD AND BATTEN SIDING
WHITE PAINTED BRICK

COBBLESTONE HARDIE PAINTED MDO PANEL
CLAYTON FALLS BRICK

GRAY SLATE HARDIE PAINTED MDO PANEL
BLUE RIDGE REGENT BRICK

MP- GEORGETOWN GREEN DOOR

MP- WILLAMSBURG DOOR

MP- BLACK DOOR

MP- MICKINNELLY STONE DOOR

MP- WILLAMSBURG DOOR

MP- GEORGETOWN GREEN DOOR

FRONT ELEVATION



EXHIBIT B
PUP2023-00009

GAYTON VILLAGE
HENRICO, VIRGINIA

August 18, 2024



STANLEY  MARTIN
HOMES

EXHIBIT B
PUP2023-00009

GAYTON VILLAGE
HENRICO, VIRGINIA

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