

**P-6-09**  
**Zoning**  
Amend P-18-07 to  
Allow Permanent Structures  
for Outdoor Farmers' Market  
Fairfield District

400 Feet

February 2009 Ref: 780-749-9410



COMMONWEALTH OF VIRGINIA  
**COUNTY OF HENRICO**

Virgil R. Hazelett, P.E.  
County Manager

May 19, 2009

Lakeside Town Center, LLC  
Attn: Peter L. Francisco  
7517 N. Pinehill Dr.  
Richmond, VA 23228

Re: Provisional Use Permit P-6-09

Dear Mr. Francisco:

The Board of Supervisors at its meeting on May 12, 2009, granted your request to amend Condition 2 approved with Provisional Use Permit P-18-07, on part of Parcel 780-749-9410, located on the west line of Lakeside Avenue (State Route 161) at its intersection with Timberlake Avenue, in order to build a permanent structure for the outdoor farmers' market at Lakeside Towne Center, subject to the following conditions:

1. The operation of the outdoor farmers' market shall adhere to all proffers accepted with rezoning case C-55C-07 (see case file).
2. The maximum area of the outdoor farmers' market shall be 4,500 square feet. Any permanent structure for the farmers' market use shall be in substantial conformance with Exhibits A - E (see case file). No other temporary stands or tents shall be erected. No outside storage shall be permitted. Any column protectors or bollards shall be approved by the Director of Planning prior to installation.
3. The operation of the outdoor farmers' market shall comply with the following standards:
  - a. The market shall only be in operation a maximum of 2 days a week and between May 1<sup>st</sup> thru November 30<sup>th</sup> of each year.
  - b. Hours of operation shall be limited to 7:00 a.m. to 8:00 p.m. during Eastern Daylight Saving Time and from 7:00 a.m. to 5:30 p.m. during Eastern Standard Time.
  - c. Only produce and those processed foods that are regulated by the Virginia Department of Agriculture and Consumer Services shall be permitted for sale. No arts and crafts or prepared foods shall be permitted.

- d. The sale or consumption of alcohol shall be prohibited.
4. The applicant shall designate a Market Manager to be in charge of the farmers' market operations, including vendor selection, and responsible for compliance with the conditions of this Provisional Use Permit. The Market Manager shall be responsible for complying with all local, state and federal regulations.
5. Prior to operation, the Market Manager shall submit a Plan of Development to the Department of Planning for approval. The POD shall delineate the specific vendor area and details of any temporary tent structures, pedestrian walkways, drive aisles and parking stalls for the site. The vendor area shall be secured to prevent unauthorized access into the vendor area and to provide safe pedestrian access to and from the market.
6. Prior to operation, the surface parking lot shall be restriped in accordance with Henrico County parking standards.
7. Trash receptacles shall be provided and property serviced to control litter generated by this use. All refuse including produce, boxes, etc. shall be removed from the premises at the end of each sales day. The parking lot shall be cleaned of trash and debris at least twice a week.
8. No outside live music performances or outdoor speaker system shall be permitted on the site.
9. The operation of the farmers' market shall not cause loitering, criminal assaults or public nuisance or unsafe conditions for the surrounding area.
10. The Director of Planning shall review the operation of the outdoor farmers' market annually for a period of 36 months to ensure compliance with the conditions imposed with this Provisional Use Permit. If the Director finds, based upon his review, that the permit holder has failed to comply with any of the conditions or that the operation of the outdoor farmers' market is having a deleterious effect on the surrounding area, then the Director shall initiate a show cause hearing on revocation of the permit pursuant to the provisions of Section 24-122.1(b) of the County Code.

Lakeside Town Center, LLC  
May 12, 2009  
Page 3

The Planning Department has been advised of the action of the Board of Supervisors and requested to revise its records and to place a copy of this notification in the Provisional Use Permit Index.

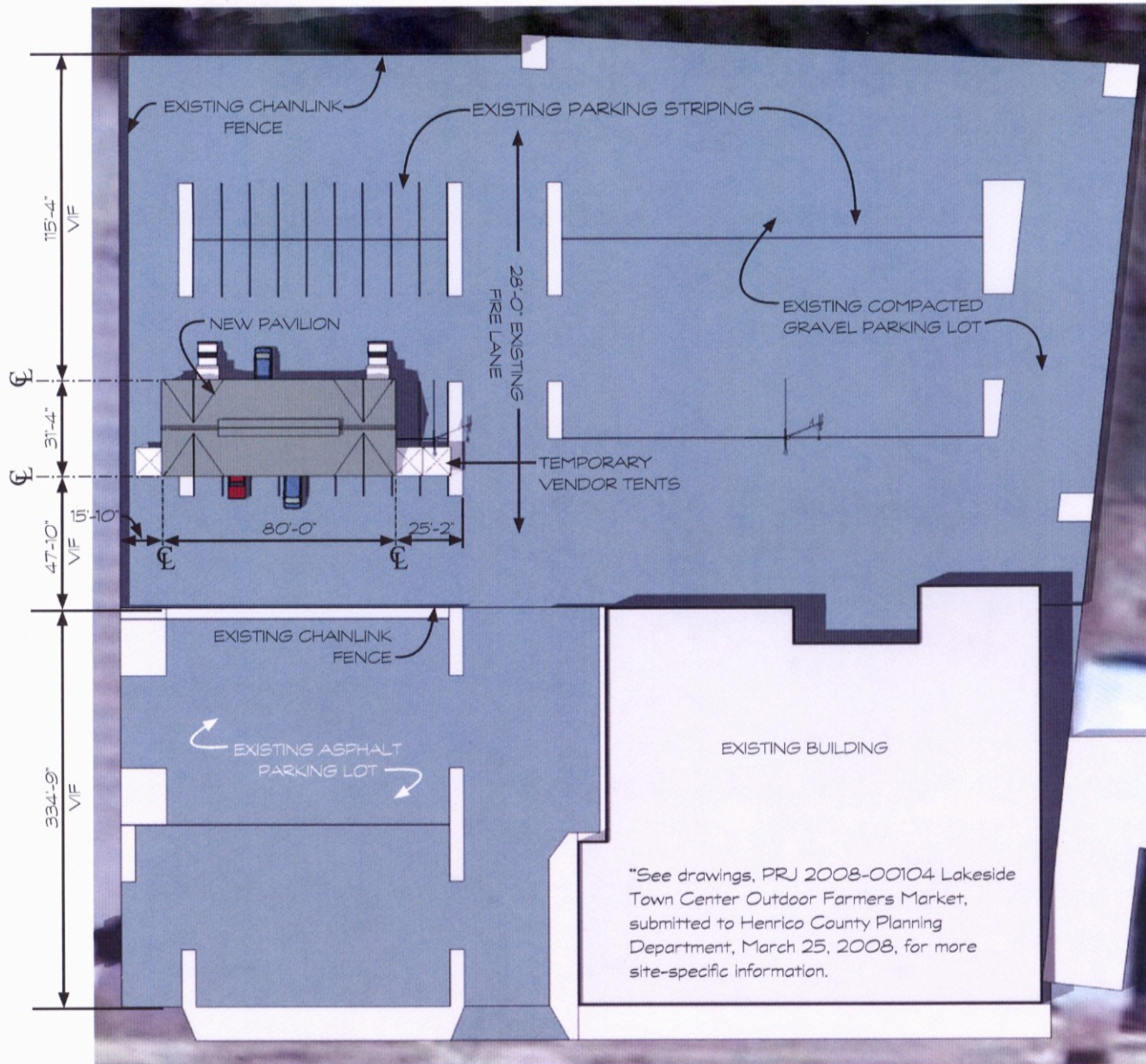
Sincerely,

A handwritten signature in black ink, appearing to read "Virgil R. Hazelett", written over a horizontal line.

Virgil R. Hazelett, P.E.  
County Manager

pc: Director, Real Estate Assessment  
Provisional Use Permit Index





**SCHEMATIC DESIGN:** This drawing is conceptual and not working drawings for construction. The notes are intended as guidelines for rehabilitation. Some aspects of the design may require further drawings prior to construction. Field Check any dimensions shown on this drawing. It is the responsibility of the owner and contractor to acquire additional technical or professional assistance as needed before or during construction.

**ADA GUIDELINES:** Insure that all entrances meet the ADA Guidelines. It is the owner's responsibility to insure that the entire building meets the ADA Guidelines. While change of use will not activate ADA, alterations to the space will. In addition, barriers must be removed when readily achievable. See note 8 for more information.

**VENDOR/CUSTOMER AISLE CONFIGURATION:** Current drawings show vendors on either side, double-loaded, with customers accessing the vendors down a central aisle. A single-loaded configuration would have vendors taking both one outer aisle and the central aisle with customers accessing vendors along the other outer aisle of bays.

**KEYED NOTES:** See sheet A.3 for listing of keyed notes.

**EXHIBIT A**

**P-6-09**

PAVILION OPTION A

SITE PLAN

NOT TO SCALE

1



EXISTING SIGN OF  
ADJACENT PROPERTY

6110 LAKESIDE AVE.



FRAZIER ASSOCIATES  
ARCHITECTURE & PLANNING  
213 NORTH ALEXANDRIA STREET, STAMFORD, VA 22657  
PHONE 540.886.8530 FAX 540.886.9878  
www.frazierassociates.com

Lakeside Ave. Farmers Market  
Henrico County, Virginia

01/22/09  
2003.100.20

A.3  
SHEET 3 OF 7

## PAVILION OPTION A

### 1 SOUTHEAST VIEW FROM LAKESIDE AVE.

NOT TO SCALE

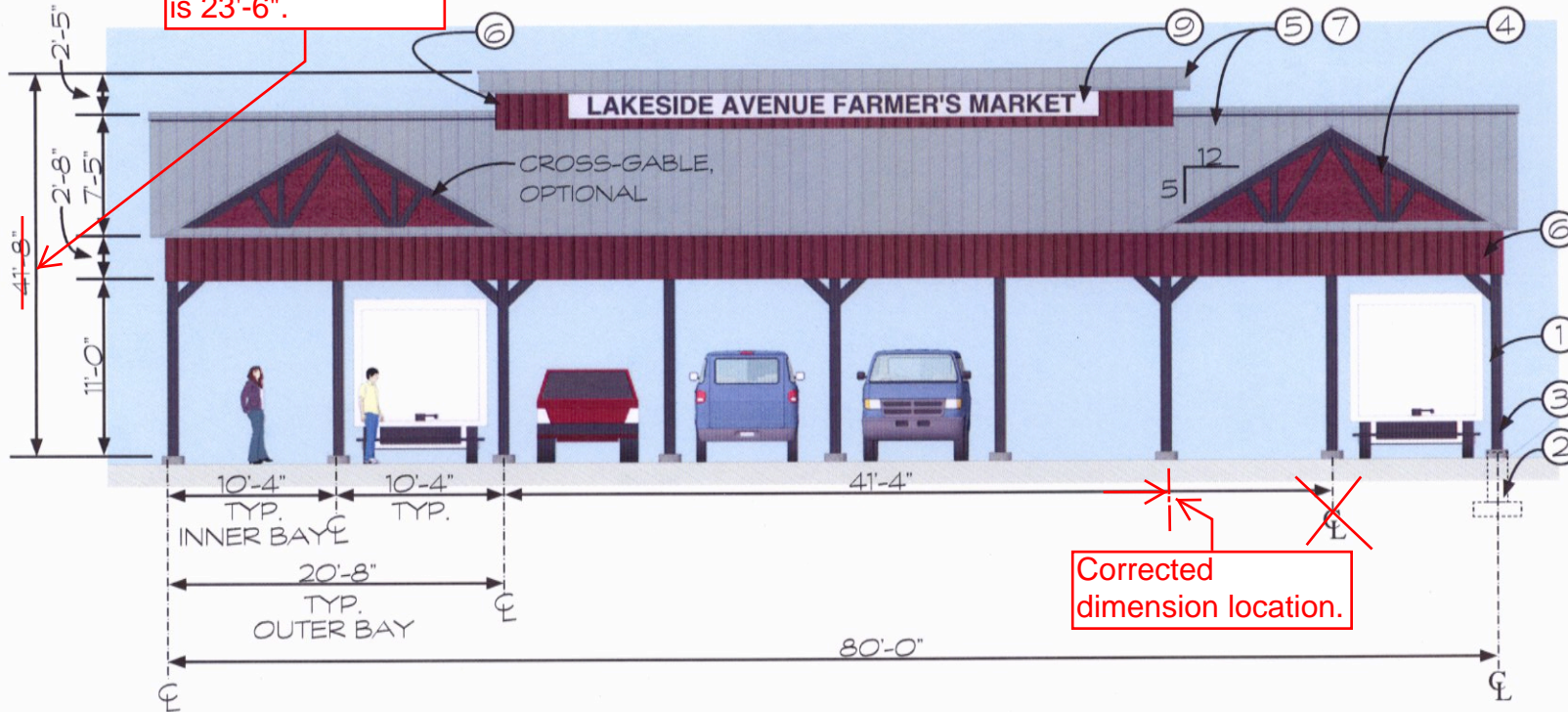
#### BUILDING FAÇADE NOTES

1. Provide timber-frame, or wood-frame structure. Paint or finish as shown. Column/post sizes, truss configuration, foundation, etc., engineered by manufacturer/installer. 8"-12" square columns preferred. Secure columns to adjustable metal post base, Simpson Strong Tie or equal, tied into concrete foundation pier.
  2. Provide reinforced concrete tube pier and footing or reinforced concrete block pier and footing foundation. Place footing 2'-0" minimum below grade.
  3. Provide metal column protectors or metal bollards.
  4. Provide metal ridge vent with vented soffit or other perimeter roof ventilation.
  5. Provide standing-seam metal roof, gutters and downspouts, pre-finished as shown.
  6. Provide board-n-batten wood siding, painted as shown.
  7. Provide wood, wood composite, or urethane panels, 1"-2" inset to expose truss structure.
  8. Provide louvered vent as shown. Coordinate finish color with adjacent surfaces.
  9. Provide and mount new wall sign in any of the following materials or applications: painted exterior grade wood; aluminum with at least the strength and durability properties of alloy 5005-H15, square cut edges and baked-enamel finish; or polyurethane with smooth finish.
- \*\*\*Abbreviation "VIF" means "verify in field."

EXHIBIT B

P-6-09

Correct dimension  
is 23'-6".



1 PAVILION OPTION A  
EAST ELEVATION  
NOT TO SCALE

KEYED NOTES: See sheet A.3 for listing  
of keyed notes.

Drawing  
corrected  
3/19/09 by SVL.

EXHIBIT C  
P-6-09

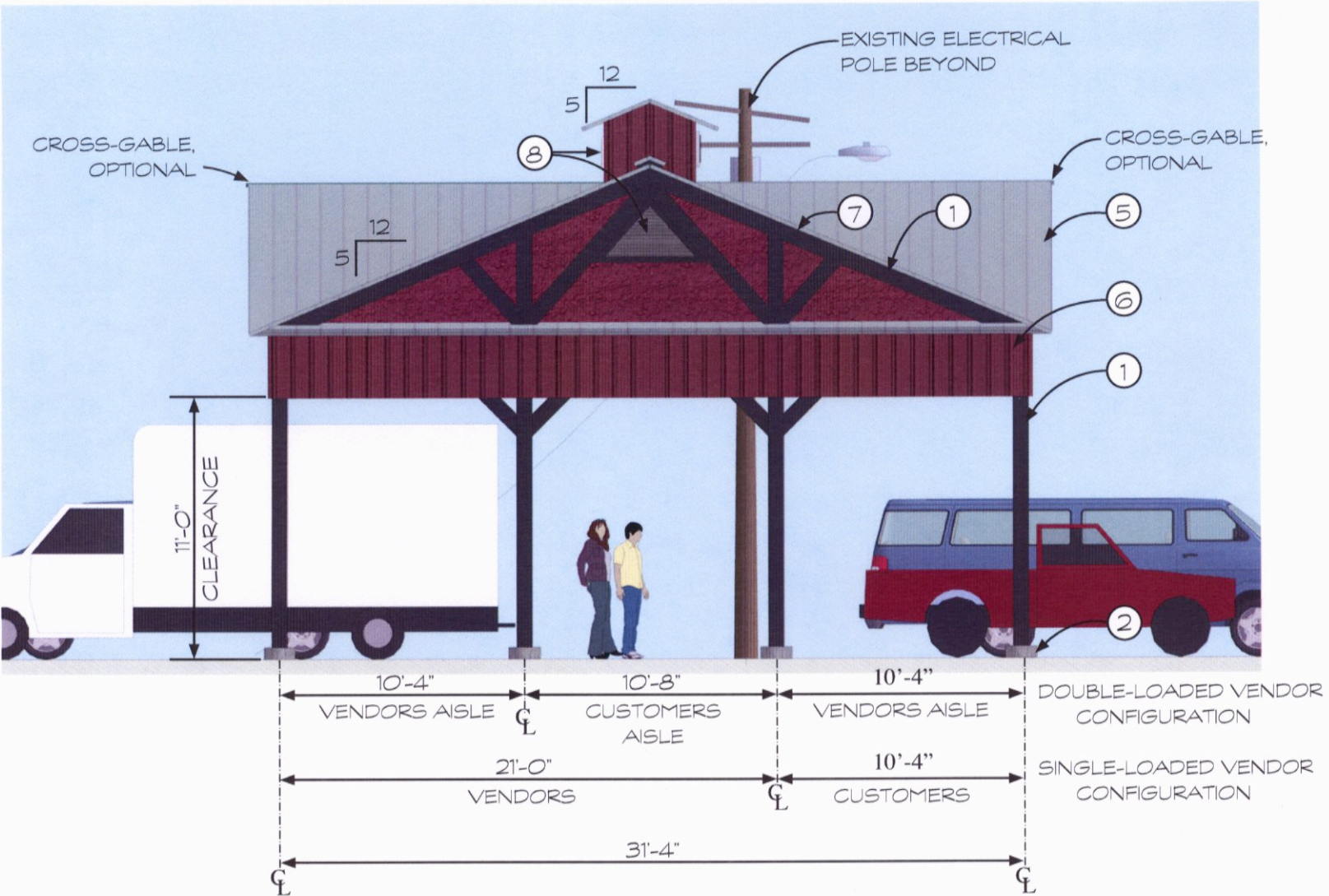




Lakeside Ave. Farmers Market  
Henrico County, Virginia

01/22/09  
2003.100.20

A.5  
SHEET 5 OF 7



1 PAVILION OPTION A  
SOUTH ELEVATION  
NOT TO SCALE

KEYED NOTES: See sheet A.3 for listing  
of keyed notes.

EXHIBIT D  
P-6-09





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Lakeside Ave. Farmers Market  
Henrico County, Virginia

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2003.100.20

EXHIBIT E

P-6-09

A.6  
SHEET 6 OF 7



PAVILION OPTION A

SOUTHEAST VIEW

NOT TO SCALE

1