

**REZ2022-00033**

**Zoning**

Master-Planned Community  
w/Commercial Uses

Brookland District

400 Feet

PS August 2022 Ref: 773-736-5900

COUNTY OF HENRICO



John A. Vithoukas  
County Manager

March 21, 2023

4911 Augusta LLC  
P.O. Box 2488  
Richmond, VA 23218

Re: Rezoning Case REZ2022-00033

Dear Sir/Madam:

The Board of Supervisors at its meeting on March 14, 2023, approved your request to conditionally rezone from B-1 Business District to R-6C General Residence District (Conditional) Parcel 773-736-5900 containing .699 acres located on the south line of Augusta Avenue approximately 160' west of the intersection of Staples Mill Road (U. S. Route 33), described as follows:

All those certain lots, pieces or parcels of land, together with the improvements thereon and appurtenances thereunto belonging, lying and being partly in Henrico County, Virginia, known, numbered and designated as lots 7, 8, 9, 10, 11, 12, 13, 14, 15, and 16, in Block J, on the plan of Monument Heights, a plat of which is recorded in the Clerk's Office, Circuit Court, Henrico County, Virginia, in Plat Book 9 page 54. to which plat reference is hereby made for a more particular description of said real estate.

The Board of Supervisors accepted the following proffered conditions, dated September 27, 2022, which further regulate the above-described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance).

1. **Conceptual Master Plan.** Development of the Property shall be in general conformance with the conceptual plan (the "Conceptual Plan") which is entitled "PLANS AND METRICS -DENSITY SCHEME EE, AUGUSTA AVENUE" dated September 23, 2022, prepared by Dweil Design Studio, and attached hereto (see case file, 4 pages). The exact locations, footprints, configurations, size, and details of the drives, roads, buildings, and other improvements shown on the Conceptual Plan are illustrative and are subject to change and may be updated from time to time as required for final engineering designs, compliance with governmental regulations or as otherwise approved at the time of Plan of Development ("POD") review of the Property or any portion thereof.



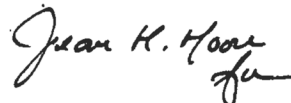
2. **Development Standards.** Development of the Property shall be subject to the following development standards, unless otherwise approved at the time of POD:
  - a. **Architectural Treatment.** Any multi-family buildings constructed on the Property shall have a style and design substantially consistent with the renderings set forth on the Conceptual Plan.
  - b. **Exterior Materials.** The exposed portion of each wall surface (front, rear and sides) of any residential building (not including the parking deck on the Property) shall be the same as exposed portions of other exterior walls of such building in architectural treatment and materials. Exposed exterior wall surfaces of any residential building (not including the parking deck), exclusive of windows, doors, and architectural treatments, shall be constructed of brick, stone, EIFS or cementitious siding, or a combination of the foregoing, unless different materials are specifically approved with respect to the exposed portion of any such wall at the time of POD review.
  - c. **Underground Utilities.** All new utility lines serving the Property shall be underground, except for junction boxes, meters, existing and/or relocated existing overhead utility lines and lines in wetland areas. Electrical junction boxes and meters shall be screened from public view at ground level at the perimeter of the property with use of a wall, fencing, landscaping, or such other method as may be approved at the time of POD review. The existing overhead electrical power lines located on the Property along the boundary line of the Property opposite of the Augusta Avenue boundary of the Property shall be placed underground.
  - d. **Sound Suppression.** Interior walls and floors/ceilings between dwelling units shall have a minimum sound transmission coefficient rating of 54. A cross-sectional detail, reviewed and approved by a certified architect or engineer as to the methodology to accomplish the sound coefficient rating, shall be included in the building permit application.
  - e. **Mechanical Equipment.** Mechanical equipment shall be screened from public view at ground level at the Property lines as approved at the time of POD review.
3. **Density.** There shall be no more than 160 residential units developed on the Property, with all such units being only one- or two-bedroom units. A minimum of 1,100 square feet of commercial interior space open to the public shall be provided on the Property as required at the time of POD review.
4. **Amenities.** Amenities for the project shall include both outdoor and indoor amenities and services which shall include (a) for the outdoor space, a pool and

deck area, a courtyard, and such other amenities as approved at the time of POD review, and (b) for the indoor space, gathering areas consisting of at least the following: event room (with chairs and television(s)), conference and meeting room, business area (co-working space) and leasing and management office, and such other amenities as approved at the time of POD review.

5. **Hours of Construction.** During the construction of the development on the Property the hours of exterior construction shall be limited to 7:00 a.m. to 7:00 p.m. Monday through Saturday, except in emergencies or where unusual circumstances require extending the specific hours in order to complete work such as concrete pours or utility connections. Exceptions shall require the approval of the Director of Planning. Construction signs shall be posted in English and in Spanish and shall state the hours of construction.
6. **Streetscape Plantings.** Plantings, including street trees, shall be provided along the public right-of-way of Augusta Avenue, consistent with Exhibit B, dated September 19, 2022, and attached hereto (see case file), with specific plantings and spacing of such plantings determined at the time of POD review, subject to conflicts with utilities, sightlines and driveway areas.
7. **Severance.** The unenforceability, elimination, revision or amendment of any proffer set forth herein, in whole or in part, shall not affect the validity or enforceability of the other proffers or the unaffected part of any such proffer.

The Planning Department has been advised of the action of the Board of Supervisors and will revise its records.

Sincerely,



John A. Vithoukas  
County Manager

pc: Andrew M. Condlin  
Director, Real Estate Assessment  
Henrico County Public Schools



| AUGUSTA AVENUE - SCHEME EE                |                |               |               |               |               |               |               |               |                |                |
|---|----------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|----------------|----------------|
| Unit Type                                 | Unit Net Area  | P1            | L1            | L2            | L3            | L4            | L5            | L6            | TOTAL          | MIX            |
|   |                |               |               |               |               |               |               |               |                |                |
| UNIT 1B                                   | 1 BR / 1BA     | 595           | 0             | 0             | 19            | 19            | 19            | 19            | 95             |                |
| UNIT 1C                                   | 1 BR / 1BA / D | 721           | 0             | 0             | 2             | 2             | 2             | 2             | 10             | 78.13%         |
| UNIT 2A                                   | 2 BR / 2BA     | 1,000         | 0             | 0             | 2             | 2             | 2             | 2             | 10             |                |
| UNIT 2B                                   | 2 BR / 2BA     | 1,050         | 0             | 0             | 5             | 5             | 5             | 5             | 25             | 21.88%         |
| <b>Units per Floor</b>                    |                | <b>0</b>      | <b>0</b>      | <b>32</b>     | <b>32</b>     | <b>32</b>     | <b>32</b>     | <b>32</b>     | <b>160</b>     | <b>100.00%</b> |
| Net Area Per Floor Units                  |                | 0             | 0             | 22,285        | 22,285        | 22,285        | 22,285        | 22,285        | 111,425        |                |
| Corr./Util./Stair/Elev/Tr./Load/Sto./Ramp |                | 1,995         | 1,238         | 3,359         | 3,359         | 3,359         | 3,359         | 3,359         | 20,028         |                |
| Amenity/Commercial                        |                | 0             | 4,662         | 0             | 0             | 0             | 0             | 0             | 4,662          |                |
| Parking                                   |                | 33,050        | 23,900        | 0             | 0             | 0             | 0             | 0             | 56,950         |                |
| <b>Gross Area Per Floor</b>               |                | <b>35,700</b> | <b>29,800</b> | <b>25,644</b> | <b>25,644</b> | <b>25,644</b> | <b>25,644</b> | <b>25,644</b> | <b>193,720</b> |                |
| Building Efficiency                       |                | N/A           | N/A           | 87%           | 87%           | 87%           | 87%           | 87%           | 87%            |                |
| Average Gross area / Unit                 |                |               |               |               |               |               |               |               |                | <b>801</b>     |
| Average Net area / Unit                   |                |               |               |               |               |               |               |               |                | <b>696</b>     |

| AMENITY SPACE         |    |    |       |       |       |       |       |  |  |        |
|-----------------------|----|----|-------|-------|-------|-------|-------|--|--|--------|
|                       | P1 | L1 | L2    | L3    | L4    | L5    | L6    |  |  |        |
| COURTYARD (INCL POOL) |    |    | 5,360 |       |       |       |       |  |  | 5,360  |
| BALCONY AREA          |    |    | 1,450 | 1,450 | 1,450 | 1,450 | 1,450 |  |  | 7,250  |
| TOTAL                 |    |    |       |       |       |       |       |  |  | 12,610 |

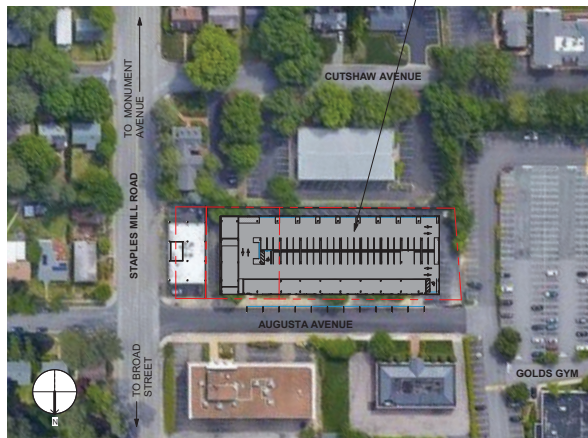
|                         |        |
|-------------------------|--------|
| TOTAL COMBINED LOT AREA | 42,981 |
| OPEN SPACE REQUIRED     | 10%    |
| OPEN SPACE PROVIDED     | 13%    |

**note:**

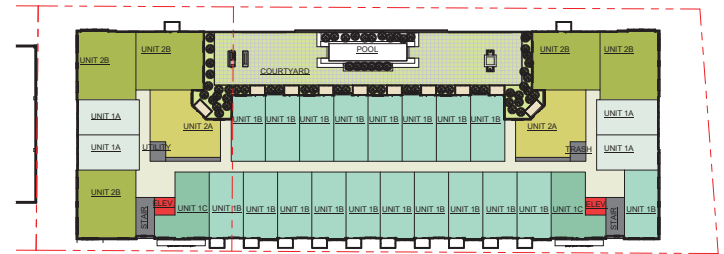
|                                       |  |
|---------------------------------------|--|
| <b>Building Gross Definition</b>      | Measured at exterior face of stud @ perimeter walls.   |
| <b>Building Net Definition</b>        | Total of Unit Net areas.   |
| <b>Building Efficiency Definition</b> | Building Net area divided by Building Gross area   |
| <b>Unit Gross</b>                     | Building Gross area divided by # of units. Not including floors without units.                                   |
| <b>Unit Net Area (U.N.A.)</b>         | Measured at exterior face of stud at perimeter walls; centerline of demising walls; exterior face of corr.walls. |

1. All square footages are approximate and subject to refinement
2. Unit mix may vary slightly from final version.

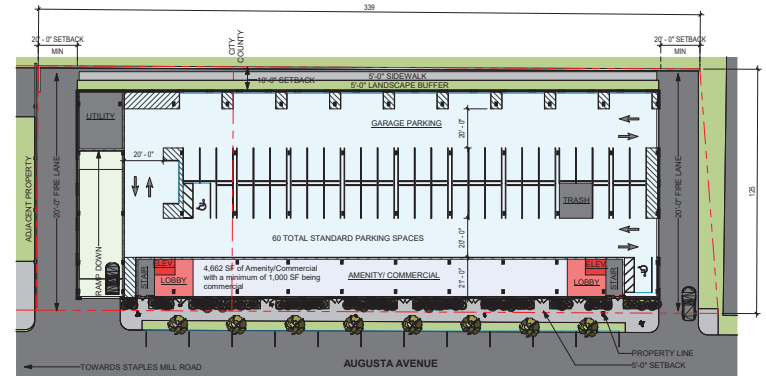
| PARKING PROVIDED        |     |
|-------------------------|-----|
| GARAGE (LEVEL 1 AND P1) | 168 |
| SURFACE                 | 0   |
| STREET PARALLEL         | 11  |
| TOTAL                   | 179 |



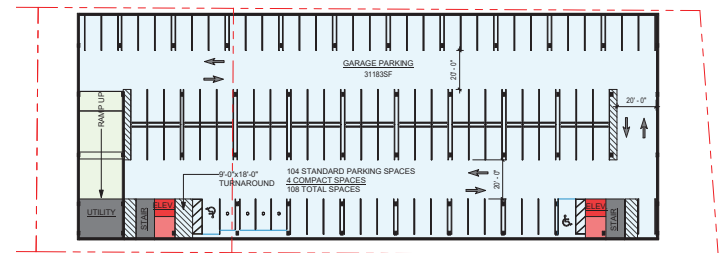
VICINITY MAP



3 LEVEL 02 - LEVELS 03 THRU 06 SIMILIAR  
1" = 30'-0"



2 LEVEL 01 - GROUND FLOOR  
1" = 30'-0"



1 PARKING - BELOW GRADE  
1" = 30'-0"

# PLANS AND METRICS - DENSITY SCHEME EE

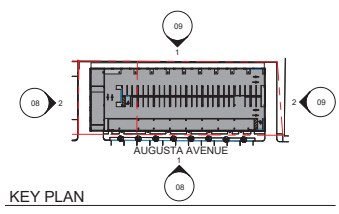
**AUGUSTA AVENUE**  
4907 AUGUSTA AVENUE  
OWNER: 4911 AUGUSTA, LLC  
09.23.22



1 NORTH ELEVATION  
3/32" = 1'-0"



2 EAST ELEVATION  
3/32" = 1'-0"



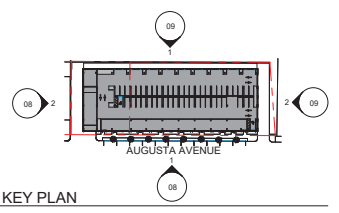
KEY PLAN



1 SOUTH ELEVATION  
3/32" = 1'-0"



2 WEST ELEVATION  
3/32" = 1'-0"



KEY PLAN



EXTERIOR ELEVATIONS

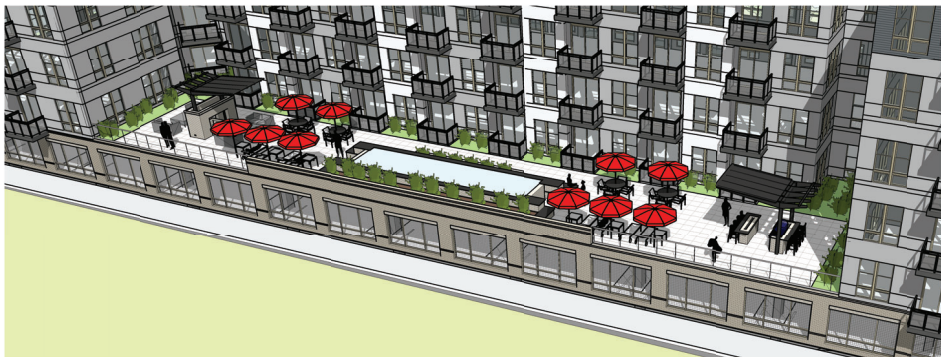
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1 NORTHEAST CORNER



3 COURTYARD CONCEPT



2 NORTHWEST CORNER

## CHARACTER VIEWS

REZ2022-00033

## AUGUSTA AVENUE

4907 AUGUSTA AVENUE  
 OWNER: 4911 AUGUSTA, LLC  
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# AUGUSTA AVE APARTMENTS

## Streetscape Examples





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## Streetscape Examples

