



COMMONWEALTH OF VIRGINIA

## COUNTY OF HENRICO

John A. Vithoulkas  
County Manager

January 31, 2023

East West Communities  
c/o Daniel Jones  
14700 Village Square Place  
Midlothian, VA 23112

Re: Rezoning Case REZ2022-00026

Dear Mr. Jones:

The Board of Supervisors at its meeting on January 24, 2023, approved your request to rezone from A-1 Agricultural District to SMX-PD Suburban Residential Mixed Planned Development District Parcels 808-693-9954, 809-693-6405, 809-694-5925, 810-692-7149, 810-693-7671, 811-692-5136, 812-690-1989, 812-690-9875, 812-692-5910, 812-693-8322, and 814-692-1020 containing 253.7 acres located on the east and west lines of Willson Road approximately 1650' north of the intersection of New Market Road (State Route 5), described as follows:

Beginning at a point on the east line of Willson Road; said point being 0.30± mile north of the north line of New Market Road (State Route 5); thence along the east line of Willson Road N 34°25'18" E 85.44' to a point; thence leaving the east line of Willson Road S 62°52'42" E 109.30' to a point; thence N 58°04'30" E 304.77' to a point; thence N 13°58'30" E 152.10' to a point; thence N 05°28'30" E 168.90' to a point; thence S 49°27'30" E 574.10' to a point; thence N 37°16'30" E 260.10' to a point; thence S 58°32'00" E 355.40' to a point; thence S 57°24'10" E 191.40' to a point; thence S 68°31'53" E 145.20' to a point; thence S 58°27'00" E 462.00' to a point; thence N 04°07'00" E 159.60' to a point; thence N 04°11'00" E 360.80' to a point; thence N 58°20'50" W 1,578.23' to a point on the east line of Willson Road; thence along the east line of Willson Road N 34°21'30" E 170.00' to a point; thence leaving the east line of Willson Road S 58°25'30" E 1,449.92' to a point; thence N 03°21'00" W 440.00' to a point; thence S 71°27'00" E 919.80' to a point; thence S 70°59'00" E 340.40' to a point; thence S 00°34'00" E 606.80' to a point; thence S 02°04'00" W 1,361.40' to a point; thence N 87°56'00" W 1,258.20' to a point; thence S 01°48'00" E 236.70' to a point; thence S 05°20'00" W 436.70' to a point; thence S 68°43'48" W 608.00' to a point; thence N 37°12'00" W 1,010.67' to a point; thence S 53°33'00" W 1,085.32' to a point on the north line of New Market Road (State Route 5); thence along the north line of New Market Road N 34°33'35" W 264.84' to a point; thence leaving the north line of New Market Road N 53°33'00" E 500.00' to a point; thence N 46°34'13" E 1,090.86' to a point; thence N 35°54'00" W 555.12' to a point; thence S 44°06'00" W 393.44' to a point;

thence N 14°32'14" W 707.09' to a point; thence N 78°18'12" W 123.47' to the point of beginning and containing 131.7±acres

Beginning at a point on the west line of Willson road; said point being 0.3± mile north of the north line of New Market Road (State Route 5); thence leaving the west line of Willson Road along the centerline of a creek 2,735'± to a point on the north line of New Market Road; thence along the north line of New Market Road N 28°02'10" W 140'± to a point; thence N 43°27'30" W 238.41' to a point; thence leaving the north line of New Market Road N 57°37'50" E 394.58' to a point; thence N 33°31'00" W 210.00' to a point; thence S 58°29'00" W 411.45' to a point on the north line of New Market Road; thence along the north line of New Market Road N 29°09'30" W 127.12' to a point on the east line of Pocahontas Parkway (State Route 895); thence leaving the north line of New Market Road and continuing along the east line of Pocahontas Parkway N 58°08'29" E 922.88' to a point; thence N 31°51'31" W 16.40' to a point; thence N 58°08'29" E 1,105.39' to a point; thence S 65°15'03" E 22.93' to a point; thence N 12°44'57" E 26.89' to a point; thence N 58°08'29" E 241.05' to a point; thence N 31°51'31" W 16.40' to a point; thence N 58°08'29" E 209.73' to a point; thence leaving the east line of Pocahontas Parkway S 03°02'33" E 400.52' to a point; thence S 66°47'00" E 1,356.07' to a point; thence S 23°13'00" W 50.00' to a point; thence S 66°47'00" E 293.87' to a point; thence S 34°21'00" W 165.05' to a point; thence S 55°39'00" E 288.85' to a point on the west line of Willson Road; thence along the west line of Willson Road S 34°45'00" W 250'± to a point; thence leaving the west line of Willson Road N 55°15'00" W 290.40' to a point; thence S 34°45'00" W 150.00' to a point; thence S 55°15'00" E 290.40' to a point on the west line of Willson Road; thence along the west line of Willson Road S 34°45'00" W 1,000'± to the point of beginning and containing 122± acres.

The Board of Supervisors accepted the following voluntary proffers, terms and conditions dated January 24, 2023, which further regulate the above-described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

1. **Pattern Book.** The Property shall be developed in general conformance with the illustrations and information set forth in the Arcadia Proposal For Development by East West Communities dated January 23, 2023 (the "Pattern Book") and filed herewith (see case file), unless otherwise requested and specifically approved at the time of Plan of Development or Subdivision, which illustrations and information are conceptual in nature and may vary in detail.
2. **Overall Density.** There shall be no more than 795 dwellings developed in total on the Property (on both the East and West side of the Property), provided that (a) no more than 500 of such dwellings shall be townhomes and condominiums (attached and detached) and no more than 192 of such dwellings shall be condominiums (attached and detached), and (b) at least 295 of such dwellings shall be single-family detached dwellings.

3. **West Side of the Property.** No more than 500 total dwellings shall be permitted on the West side of the Property (west of Willson Road).
4. **East Side of the Property.** No building permit for a dwelling or other structure shall be issued for development on the East side of the Property prior to January 24, 2030. Allowance of building permits after this date would be further subject to the following:
  - a. No more than 50 total dwellings shall be permitted on the East side of the Property (east of Willson Road) until such time as a second point of access, as approved by the Director of Planning at the time of Plan of Development review, is provided to the East side of the Property; and,
  - b. The secondary access cannot be out to Rt. 5.
5. **Connectivity.** In accordance with the County's 2026 Major Thoroughfare Plan, the primary boulevard entering the West side of the Property shall generally follow the alignment of Concept Road 2026-202. A second stub road shall be provided for a future connection to the adjoining property on the West side of the development, along the northern property line, that generally follows the alignment of Concept Road 2026-150. On the East side of the Property, along the eastern property line, a stub road shall be provided for a future connection to the adjoining property that is generally in alignment with a continuation of Concept Road 2026-202. Future road connections to adjacent properties shall be permitted.
6. **Road Certification.** Prior to the issuance of the first permanent certificate of occupancy in a given phase of development, the Owner shall provide the Planning Department with certification from a licensed engineering firm that the private roadways within that phase of development were constructed according to the approved Plan of Development and in compliance with County private road design standards and specifications, to include proper compaction of the sub-base soils, utility trenches, base stone and asphalt surface, but excluding road widths and turning radii.
7. **Pedestrian Access.** A pedestrian access system shall be provided connecting the major project areas of the development, as generally shown on the Pattern Book (see case file).
8. **Restrictive Covenants/Homeowners' Association.** A document shall be recorded in the Clerk's Office of the Circuit Court of Henrico County, Virginia setting forth controls on the development and maintenance of such portions of the Property as they are developed. In addition, there shall be an Owners' Association(s) that shall be responsible for the enforcement of the restrictive covenants, including, but not limited to, maintenance of the common areas.

**9. Road Improvements.** The following road improvements shall be made:

- a. All right-of-way of Willson Road adjoining the West Property, but not to exceed forty (40) feet as measured from the existing centerline, to allow that portion of Willson Road adjoining the West Property to be an eighty (80) foot right-of-way, shall be dedicated to the County by the then Owner of the West Property prior to the certificate of occupancy for the first building on the West Property. If such property is not used by the County for the widening of Willson Road within fifteen (15) years of the date of the dedication of such property, the unused portions of the West Property shall be returned to the developer or its successor.
- b. All right-of-way of Willson Road adjoining the East side of the Property, but not to exceed forty (40) feet as measured from the existing centerline, to allow that portion of Willson Road adjoining the East side of the Property to be an eighty (80) foot right-of-way, shall be dedicated to the County by the then Owner of the East side of the Property prior to the certificate of occupancy for the first building on the East side of the Property. If such property is not used by the County for the widening of Willson Road, the dedicated portions of the East side of the Property shall be returned to the developer.
- c. Pursuant to the recommendations set forth in the Nelson Farm Development – Traffic Impact Analysis prepared by Kimley-Horn, dated August, 2022 (see case file) and based upon the assumptions provided by the County Department of Public Works and VDOT, the developer, subject to VDOT and County approval, shall construct and dedicate to the County or to the State at no cost, the following Willson Road improvements:
  1. The developer shall widen Willson Road with required transitions from the northern project entrance (Entrance #2 as shown in that certain exhibit entitled "ARCADIA OVERALL OFFSITE ROADWAY IMPROVEMENTS EXHIBIT", dated December 13, 2022, prepared by Kimley-Horn and attached hereto as Exhibit A) (see case file) to the southern entrance (Entrance #1 as shown in Exhibit A) (see case file) along the West property frontage, allowing for single dedicated right and left turn lanes into the two (2) project driveways along Willson Road, each to be completed with a 200 foot storage and 100 foot taper. This road widening shall be substantially complete prior to the Certificate of Occupancy for the first building on the West side of the Property.
  2. Prior to a Certificate of Occupancy for the first building on the Eastern side of the Property, at least one of the following road improvements shall be substantially completed to access the East side of the Property, and by

the fifty-first (51st) Certificate of Occupancy for a building located on the East side of the Property, at least two of the following road improvements shall be substantially completed to access the East side of the Property, unless otherwise approved by the Director of Planning at the time of Plan of Development or Subdivision review (such as an additional point of access, with necessary road improvements, being provided):

- a. Widen Willson Road with required transitions at the northern project entrance (Entrance #3 as shown in Exhibit A) (see case file) along the East side of the Property frontage, allowing for single dedicated right and left turn lanes into the one (1) project driveway along Willson Road, each to be completed with a 200 foot storage and 100 foot taper.
- b. For use of the southern project entrance along Willson Road (Potential Entrance #4 as shown in Exhibit A) (see case file) the developer shall widen Willson Road with required transitions allowing for single dedicated right and left turn lanes into Potential Entrance #4, to be completed with a 200 foot storage and 100 foot taper.
3. With respect to a traffic signal at the intersection of Willson Road and South Laburnum Avenue, as shown in Figure 1 in the Traffic Impact Analysis (see case file), materials needed to construct such a signal will be ordered when the 300th certificate of occupancy is issued, and the signal will be constructed and operational within 6 months of meeting this threshold. A northbound right turn lane will be constructed within the existing right-of-way with a 50' taper and 50' storage on Willson Road at South Laburnum Avenue generally shown in Exhibit A (Road Improvement #2)(see case file) and will be substantially complete within 6 months of the 300th certificate of occupancy. The existing westbound left turn lane on South Laburnum Avenue at Willson Road will be extended to a 200 foot storage and 100 foot taper, and be substantially complete within 6 months of the 300th certificate of occupancy.
4. The installation of a single right turn lane southbound on Willson Road at the intersection of Route 5, shown in Figure 1 in the Traffic Impact Analysis (see case file), generally shown in Exhibit A (Road Improvement #1) (see case file) to be completed with a 200 foot storage and 100 foot taper shall be constructed before the Certificate of Occupancy for a combined 210 single-family homes and 340 townhome and condominium units, unless otherwise approved by the Director of Planning or VDOT at the time of Plan of Development or Subdivision review.

10. **Storm Water Management Facilities.** Any above-ground wet stormwater management facilities located on the Property shall be designed and utilized as a water feature amenity and/or designed and landscaped to make it an integral part of the development and shall be aerated.
11. **Burning on Site.** There shall be no burning of construction debris, materials or vegetation on the Property, except to provide warmth to workers using temporary drums not exceeding fifty-five (55) gallons.
12. **Satellite Dishes.** Satellite dishes larger than that permitted by Federal law without restriction shall be prohibited on the Property.
13. **Recreation Facilities and Open Space.** A minimum of 84 acres of passive and active recreational areas shall be provided for the Property and may include BMP's, RPA's, wetlands, buffers, pocket parks, central greens, clubhouse and pool area, etc. of which a minimum of 70 acres shall be open space, as defined by the County Zoning Ordinance. A stand-alone clubhouse, a minimum of 2,400 to 3,000 square feet in enclosed conditioned space, for unit owners and guests shall be provided for the dwelling units and shall include interior and exterior gathering spaces such as outdoor lounging area, kitchen and meeting or seating area, collaborative workspaces or a fitness center to include services such as but not limited to cardio, weights, yoga and group fitness. The clubhouse will also include a great room that can be reserved for social activities. Other recreational facilities for use by unit owners and guests may include central park, walking and biking trails, pool, community gardens, etc, as generally shown on the Pattern Book (see case file).
14. **Setbacks.** Minimum building setbacks shall be generally as shown in the Pattern Book (see case file), unless otherwise approved by the Director of Planning at the time of Plan of Development or Subdivision Plan approval.
15. **Landscaping/Buffer along Adjacent Roadways.**
  - a. **Overall.** Any buffer within the Property required herein shall be retained as natural and may also be landscaped, and may include supplemental plantings, signage, berms and/or fencing and other purposes as approved at the time of landscape plan review. Roads, bicycle paths, jogging trails, sidewalks, utility easements (including drainage), common owned fencing/walls adjacent to any roads or drives, signage, and other purposes requested and specifically permitted, or if required, at the time of Plan of Development or Subdivision review, or by any governmental body; provided, any such road or utility easements shall be extended generally perpendicular through such buffer. All buffers in common area shall be maintained by the respective Association. Any buffer shall include

supplemental evergreen plantings necessary to provide additional screening as determined at the time of landscape plan review.

- b. **I-895.** A natural and landscaped buffer a minimum of fifty (50) feet in width and planted to the level of a transitional buffer 50 shall be provided on the Property adjoining Interstate 895.
- c. **Willson Road.** A natural and landscaped buffer a minimum of fifty (50) feet in width and planted to the level of a transitional buffer 50 shall be provided on the Property adjoining Willson Road.
16. **Street Trees.** Street trees with a minimum two and one-half (2.5) inch caliper at the time of planting shall be planted along the sides of all internal public roads, one tree on each side for every thirty-five (35) feet of road length. If existing trees are maintained, they may be counted toward this requirement. Spacing of trees may be increased as needed to accommodate driveways and underground utilities, including stormwater systems.
17. **Entrance Features/Signage.** Signage within Arcadia shall be generally consistent with the styles depicted in the Pattern Book (see case file) unless otherwise approved by the Director of Planning at the time of Plan of Development or Subdivision Plan approval.
18. **Driveway Materials.** Driveways shall be constructed of either asphalt, pre-cast pavers, concrete or other similar materials approved by the Director of Planning at the time of Plan of Development or Subdivision Plan approval.
19. **Construction Hours.** The hours of exterior construction activities, including operation of bulldozers and other earthmoving equipment shall be permitted only between 7:00 a.m. and 7:00 p.m. Monday through Friday and 8:00 a.m. and 5:00 p.m. on Saturdays, except in emergencies or where unusual circumstances require extending the specific hours in order to complete work such as concrete pours and utility connections. Signs, in both English and Spanish, stating the above-referenced provisions, shall be posted and maintained at all construction entrances to the Property prior to any land disturbance activities thereon.
20. **C-1 Conservation District and Conservation Easements.** Prior to filing the final Plan of Development or Subdivision plan on the Property, the Owner/Applicant shall apply to rezone such portions of the Property situated within the 100-year floodplain/special flood hazard area to a C-1 Conservation District. The location and limits of such portions of the Property shall be established by definitive surveys approved by the Department of Public Works. Open space common areas that are not used for active recreation or stormwater management, shall be placed in a conservation easement (as approved by the

County), unless otherwise approved by the Director of Planning. Any such areas adjacent to public roads shall be planted with trees, fifty percent (50%) of which are native to Virginia, unless otherwise approved by the Director of Planning, fruit or nut bearing trees, wildflowers (intended to attract pollinators), or edible berry bushes.

21. **Chimneys.** The exposed portions of all fireplace chimneys, if present, shall be of brick, stone, cultured stone, or siding similar to the exterior treatment of the building. The exposed bases of all chimneys shall be of the same material as the dwelling foundation. This condition shall not apply to direct-vent gas fireplaces or appliances.
22. **Foundation Planting.** Each residential building shall have a minimum of four (4) shrubs planted in the front planting bed.
23. **Alleys.** The internal alleys within the project shall be private and shall be maintained by the Association.
24. **Lighting.** Lighting standards for the project shall be provided as generally shown on the Pattern Book (see case file).
25. **Site Access.** Additional access points may be provided to the site beyond the future access points shown in the Pattern Book (see case file), subject to approval at the time of Plan of Development or subdivision review.
26. **Inclusionary Housing:** No less than 20 residential lots shall be set aside for sale, at no greater than cost for such lot, to a non-profit or government organization, or such other similar entity approved by the Director of Planning, having the goal of the use of such lot for construction of affordable housing. All such lots shall be located on the West side of the Property and shall be set aside for such purposes no later than the 400th certificate of occupancy for any dwelling on the West side of the Property. All such lots shall be set aside and offered for sale for a time period no less than 4 years from the date they are identified in written form by the developer to the County at plat recordation. Such lots shall be a mixture of townhome lots and single-family detached home lots and shall be disbursed throughout the community. The cost of such lot shall be determined by all hard and soft costs, including any off-site costs, actual or reasonably anticipated at that time, directly related to the acquisition of the Property and design and development into buildable lots, divided by the number of reasonably anticipated buildable lots on the Property. At the request of the County, the developer shall provide to the County a written summary of the lots set aside and the analysis used to determine such cost for the sale of such lots.

27. **Severance.** The unenforceability, elimination, revision, or amendment of any condition set forth herein, in whole or in part, shall not affect the validity or enforceability of the other conditions or the unaffected part of any such condition.

#### APPLICABLE TO MULTI-FAMILY CONDOMINIUMS

28. **Square Footage.** One bedroom units shall be a minimum of 900 square feet of finished floor area in size, two bedroom units shall be a minimum of 900 square feet of finished floor area in size, and three bedroom units shall be a minimum of 1000 square feet of finished floor area in size.
29. **Architecture.** Buildings shall be in general conformance with the architectural themes displayed in the Pattern Book (see case file), which illustrations and information are conceptual in nature and may vary in detail.
30. **Exterior Materials.** Buildings shall have exposed exterior front, rear and side walls (above finished grade) primarily of brick, cementitious or composite-type siding, vinyl siding, stone, marble or granite, or a combination of the foregoing or other material(s) of similar quality. No building shall be covered with or have exposed to view any unadorned or unfinished concrete block. Soffit and exterior ceiling materials shall be constructed using non-combustible material.
31. **Sound Suppression.** Interior dwelling unit separation walls between units, floor/ceiling assemblies between units, and/or floor/ceiling assemblies between office/commercial and residential units in buildings shall be designed to have a minimum sound transmission coefficient rating of 54 as evidenced by a cross-sectional detail, reviewed and approved by a certified architect or engineer as to the approved assembly accomplishing the sound coefficient rating, which shall be included in the building permit application.

#### APPLICABLE TO MULTI-FAMILY TOWNHOMES

32. **Square Footage.** Townhomes shall have a footprint no less than 600 square feet and shall be a minimum of 1,200 square feet of finished floor area in size.
33. **Architecture.** Townhome buildings shall be in general conformance with the architectural themes displayed in the Pattern Book (see case file), which illustrations and information are conceptual in nature and may vary in detail. Generally, in order to minimize visual repetition of buildings, no two adjacent Townhome buildings shall have the same identical individual elevation sequence pattern across the front of the building. The exception to this rule will apply to multi-family housing: townhouses lining the grand boulevard as well as those townhouses encircling the community's clubhouse may maintain a consistent façade. The same holds true for the condominium court. Garages (if provided)

shall allow for single (1 car) garages or double (two) car garages. All garage doors shall have, at a minimum, one architectural detail including but not limited to, windows, carriage door handles, exposed hinges or accent columns.

34. **Exterior Materials.** Townhomes shall have exposed exterior front, rear and side walls (above finished grade) primarily of brick, cementitious or composite-type siding, vinyl siding, engineered wood siding, stone, marble or granite, or a combination of the foregoing or other material(s) of similar quality. Slab Construction: If the dwelling unit is constructed on a slab, brick or stone shall be employed around the base of the dwelling unit a minimum twelve (12) inches above grade as to give the appearance of a foundation. If not constructed on slab, all exposed portions of the foundation of each dwelling unit shall be faced with brick, stone, or similar quality veneer. No building shall be covered with or have exposed to view any unadorned or unfinished concrete block. Soffit and exterior ceiling materials shall be constructed using non-combustible material.
35. **Sound Suppression.** Interior dwelling unit separation walls between units in Townhomes shall be designed to have a minimum sound transmission coefficient rating of 54 as evidenced by a cross-sectional detail, reviewed and approved by a certified architect or engineer as to the approved assembly accomplishing the sound coefficient rating, which shall be included in the building permit application.

#### APPLICABLE TO ALL SINGLE-FAMILY DETACHED HOMES

36. **Square Footage.** Single-family homes shall be a minimum of 900 square feet of finished floor area in size.
37. **Architecture.** Homes shall be in general conformance with the architectural themes displayed in the Pattern Book (see case file), which illustrations and information are conceptual in nature and may vary in detail. To minimize visual repetition of buildings, no two adjacent homes shall have the same identical individual elevation sequence pattern across the front of the building. Garages (if provided) shall allow for single (1 car) garages or double (two) car garages. All garage doors shall have, at a minimum, one architectural detail including but not limited to, windows, carriage door handles, exposed hinges or accent columns.
38. **Exterior Materials.** Single-family detached homes shall have exposed exterior front, rear and side walls (above finished grade) primarily of brick, cementitious or composite-type siding, vinyl siding, engineered wood siding, stone, marble or granite, or a combination of the foregoing or other material(s) of similar quality. No building shall be covered with or have exposed to view any unadorned or unfinished concrete block. Soffit and exterior ceiling materials shall be constructed using non-combustible material.

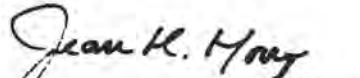
39. **Foundations:** All single-family dwelling units on the Property shall be constructed on crawl space foundations except for basements and garages. The exterior portion of the foundations below the first floor level which is visible above grade shall be finished with full standard brick or stone unless otherwise approved by the Director of Planning. Dwelling units built on a crawl space foundation, with steps to the main entrance, including front access stoops or porches, but not including homes with country porches, shall be faced with full standard brick or stone with a finished concrete or exposed aggregate landing for any such steps, stoops or porches and any visible piers on porches shall be constructed of brick. Notwithstanding the foregoing, if a single-family dwelling unit is age restricted, such dwelling unit may be constructed on a slab if approved by the Director of Planning, and if so, brick or stone shall be employed around the base of the dwelling unit a minimum twelve (12) inches above grade as to give the appearance of a foundation

APPLICABLE TO COMMUNITY BUILDING

40. **Amenities.** Prior to the issuance of 450 certificates of occupancy for owner-occupied residences, a Clubhouse for use by homeowners shall be provided and include, at a minimum, a business center, meeting space and a swimming pool.
41. **Central Park.** At the option of the developer and the Arcadia HOA the Central Park depicted on the East side of the Property may be converted to a professionally managed urban farm and/or community garden following a model similar to CSA Farm Share (Community Supported Agriculture).

The Planning Department has been advised of the action of the Board of Supervisors and will revise its records.

Sincerely,



John A. Vithoulkas  
County Manager

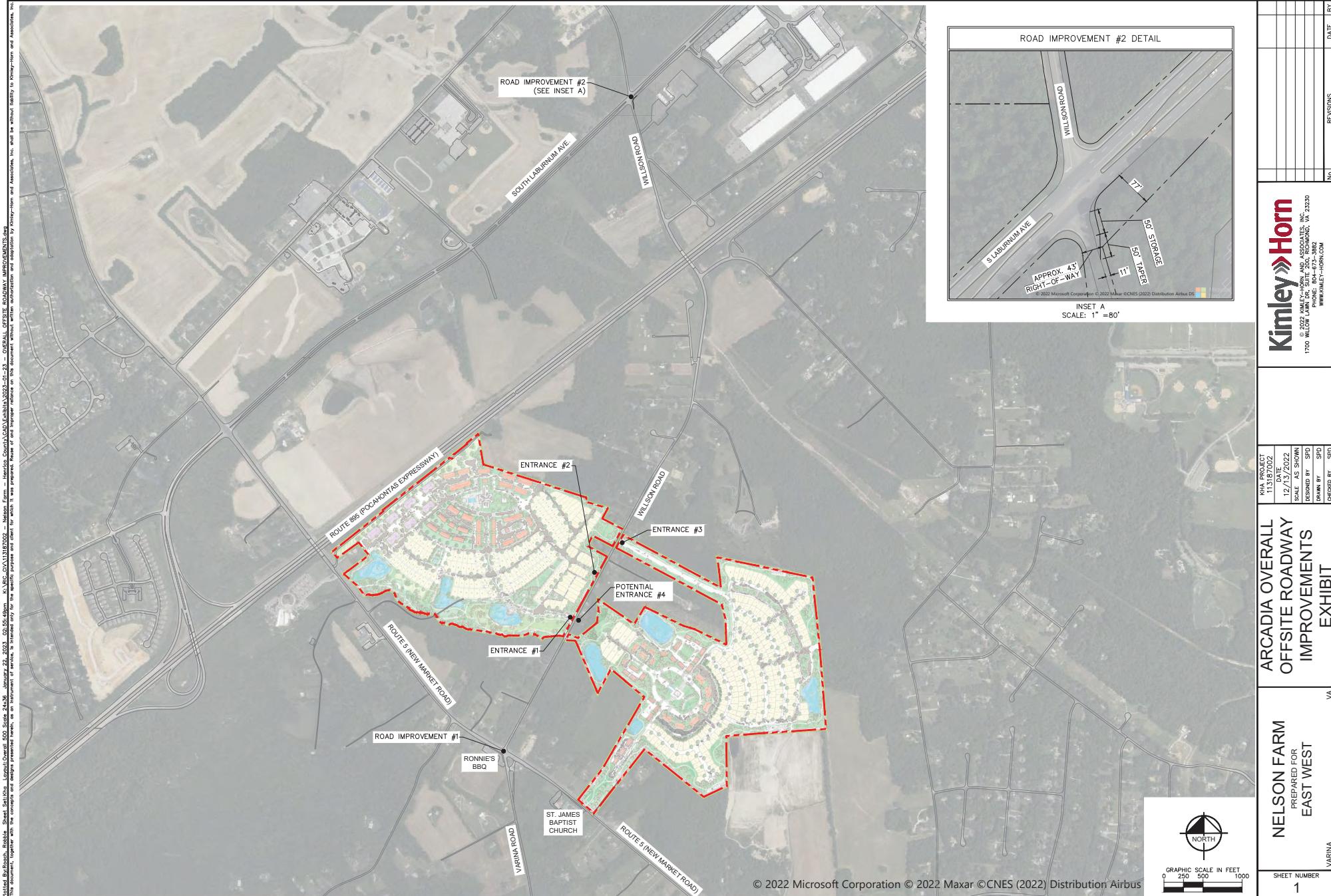
pc: Mark J. Kronenthal  
John W. Nelson Jr, Trustee  
E. N. Gottwald  
Elizabeth N. Gottwald  
William D. Gottwald, Jr.

East West Communities

January 31, 2023

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Jane M. Nelson, Trustee  
Phyllis G. and Reginald W. Nelson  
Trustees for Reginald H. Nelson IV, Trust  
Henrico County Schools  
Director, Real Estate Assessment





# ARCADIA

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## VARINA



Arcadia Pattern Book

East West  
COMMUNITIES

January 23, 2023

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January 23, 2023



## 1. INTRODUCTION

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January 23, 2023

 ARCADIA

## 1.1 INSPIRATION



Arcadia's overall layout is based on a Beaux-Arts town plan where sweeping boulevards and axial vistas showcase well-crafted architecture amidst parks and amenity greenbelts. The progression from entrance to the heart of the site mimics the progression within a small town: from rural to suburb to urban.

- The master plan seeks to layout new homes in a way that will prioritize the public realm and open space.
- The goal for this master plan to provide a high quality amenity package that will enhance the overall experience for residents creating a variety of flexible and compelling outdoor spaces.
- Entering off Willson Road, one proceeds through a beautifully tree-lined and curvilinear boulevard with a community amenity at the street's terminus. Intersecting this boulevard is a secondary amenity axis: a greenbelt muse, a perfect refuge nurtured by natural and enhanced foliage, a walking path, and site embellishments to enjoy this stop-a-while within the community.
- At the community's heart, a well-designed clubhouse amenity becomes the focus for residents, incorporating resort style activities along with a farmette for members of the community.
- This is a walkable community. The entire project is lined with sidewalks, along with rumble boards and special accent pavers at major intersections. Streets are designed on a curved bias to allow for more dynamic visual interest. View axis are carefully controlled with all streets ending with framed natural vistas or with superior architecture.



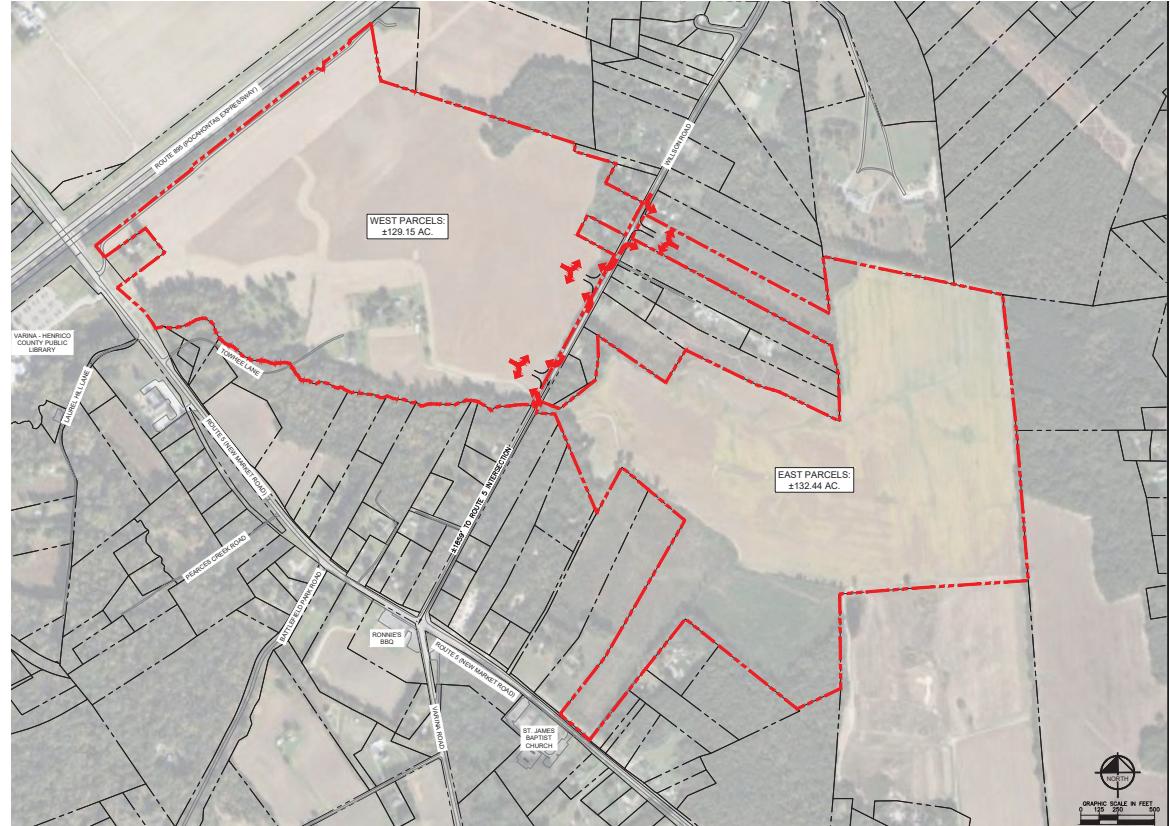
## 1.2 CONTEXT

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Arcadia is a 262-acre, two parcel site located along Route 895 and Willson Road at Route 5 in Henrico County. Arcadia provides a great opportunity for the development of a vibrant, walkable, residential community with a variety of amenities, including a clubhouse and year-round activities that will provide connectivity for the families that live there.

The property is currently farmland and will be transformed into approximately 1,000 homes, townhomes, and condominiums laced with meticulous landscaping, pocket parks, a greenbelt muse, sidewalks, and street lights. A fifty-foot landscaped planting buffer as well as a generous 500-foot setback off Route 5 ensures both the visual privacy and solitude of the community. Within the community, approximately 32% of the land will remain as open space.

The Capital Trail and the Varina Library are located adjacent to the property allowing easy access for residents. The property is convenient to Downtown Richmond, Rocket's Landing, and Route 895.



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### AREA MAP

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## 1.3 WHAT DOES ARCADIA MEAN



- In its simplest definition, Arcadia refers to a vision of pastoralism in harmony with Nature.
- The term is derived from the Greek province of the same name which dates to antiquity.
- According to Greek mythology, Arcadia is paradise, where supernatural entities are aligned with Nature. The domain of Pan, god of the forest, permeates this primal land.
- Later, Eighteenth-century pastoralists further developed the meaning of Arcadia to be an idyllic garden of unspoiled wilderness where the world is at harmony. This untouched garden is generally associated with Utopian ideals where humankind lives uncorrupted by civilization.
- Virginia's own Thomas Jefferson extolls the virtues of agrarian living and likened his dear Monticello as a grand Edenic experiment in progressive Arcadian living.

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## 1.4 ARCADIA WEST

The overall layout is based on a Beaux-Arts town design where sweeping boulevards and axial vistas showcase well-crafted architecture amidst parks and amenity greenbelts. The progression from entrance to the heart of the site mimics the progression within a small town: from rural to suburb to urban.

Entering through the main entrance off Willson Road, one proceeds through a beautifully tree-lined and curvilinear boulevard with a community amenity at the street's terminus. Intersecting this boulevard is a secondary amenity axis: a greenbelt muse. To the right, walking trails take one through a park-like setting, punctuated with nodes of floral opportunities; to the left, an architectural folly that serves as gateway to nearby riverbank hiking trails and ponds.

Varied width single-family lots are the mainstay of this community and utilize both street access and alley loaded configurations. The community also allows for higher density quarters such as townhouses and condominiums. Townhouse venues are arranged in landscaped courtyard style fashion, creating intimate neighborhood enclaves. Condominiums are placed along the Pocahontas Parkway to act as sound baffles, thereby reducing peak traffic sounds to little more than white noise. A 50-foot green buffer along the expressway secures and protects the view into the condominiums.

This is a walkable community. The entire project is lined with sidewalks, with rumble boards and special accent pavers at significant intersections. Streets are designed on curved bias to allow for more dynamic visual interest. View axis are carefully controlled with all streets ending with framed natural vistas or with superior architecture.

At the community's heart, a well-designed clubhouse amenity becomes the focus for residents, incorporating resort style activities throughout the year. Additional amenities will include a pool, trails, pocket parks, greenways, and more.



## 1.5 ARCADIA EAST

As with Arcadia west, Arcadia east is based on the same axial Beaux-Arts town plan where an ordered progression through the community displays traditional architecture in park-like settings.

This site's main entry is also off Willson Road and as one proceeds through a seasonal tree-lined boulevard, visitors and residents alike are treated to a well-designed, pastoral promenade that eventually terminates in a framed view of Central Park: a strategically placed amenity that houses the community's Conservatory -- a social gathering spot within an architectural delight.

Standardized single-family lots are the mainstay of Arcadia's eastern community. Here residential lots utilize either street access or traditional alley configurations. Consistent with the overall theme set with the western parcel, this sister site allows for higher density quarters such as townhouses and condominiums. Townhouse venues are arranged in landscaped courtyard fashion, creating intimate neighborhood enclaves. Townhomes are ringed along the southern edge of site's Central Park affording these multifamily residents lovely views within this verdant and precious amenity.

This is a walkable community. The entire project is lined with sidewalks; rumble boards and special accent pavers will be found at major intersections. Streets are designed on a curved bias to allow for more dynamic visual interest. View axis are carefully controlled with all streets ending with framed natural vistas or with superior architecture.



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# 1.6 EAST WEST COMMUNITIES HISTORY

VIRGINIA • NORTH CAROLINA • SOUTH CAROLINA • FLORIDA

## I. Significant History

East West Communities is a nationally acclaimed masterplan developer with multiple communities in Virginia, North Carolina, South Carolina, and Florida. Since 1973, East West Communities has a history of working closely with local officials to fulfill its strategic plan of offering a variety of housing products and price points – featuring a superior lifestyle by the addition of resort-style amenities at a reasonable cost to the homeowner.

## II. A Long-Term Partnership

As a developer, East West Communities has accomplished what no one else has. Part of this reason for this may be because our management team has spent 90% of their homeownership years in our own communities. Simply put, we build the ‘ultimate community’ for our residents...AND our own families!

With each new community, we continue to build on our heritage of innovation and achievement. East West's imaginative amenities, like Garden Golf™, FunHouses™, children's water parks, Tom Sawyer Island playgrounds, skating rinks, bike tunnels, treehouse playgrounds, playhouse villages, and waterfront amphitheaters, continue to attract new home buyers, and sustain East West Communities' leadership in the real estate development industry have now been adopted.



## III. Best In America

Over the past 45 years, East West Communities has received national acclaim for developing the Best Community in America for three different Midlothian communities – Brandermill, Woodlake, and Hallsley. Every year the National Association of Home Builders and the Urban Land Institute assemble panels of expert judges to select new planned housing developments throughout the United States that they judge to be the best. The criteria includes diversity of housing, sales success, environmental sensitivity, infrastructure, and more. No other developer in the country has EVER won three “Best Communities in America” awards!

## IV. Unwaivering Reputation

East West Communities began in Midlothian, Virginia more than four decades ago and over the years grew into four separate divisions, based in Richmond and Hampton Roads, Virginia, Jacksonville, Florida, and Beaufort, South Carolina. Today, these divisions of East West Communities has developed over 25 award winning communities that are home to more than 20,000 families. East West Communities presents an incomparable record of experience and achievement.

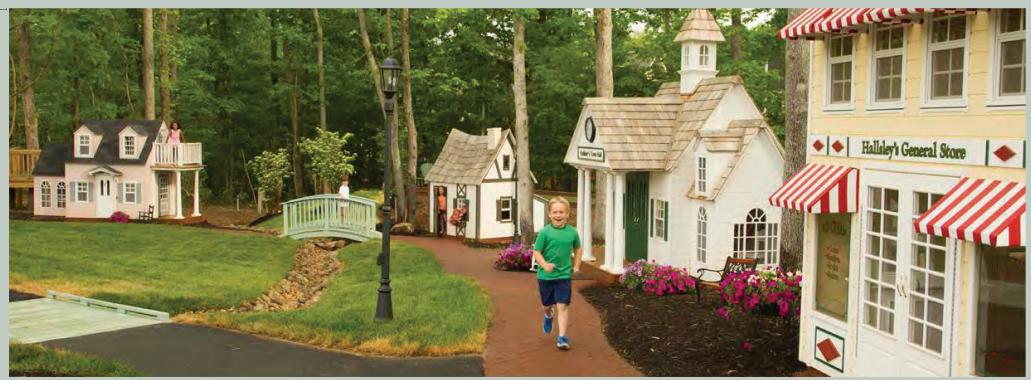


## 1.6 EAST WEST COMMUNITIES HISTORY, *continued*

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### V. Environmental Sensitivity

At East West Communities, a consistent element of our strategic approach is an uncompromising commitment to environmental preservation. We've established environmental protocol and developed ground-breaking conservation measures for every new community we build, and our methods are now industry standards. We've been recognized for our environmental leadership with numerous awards. We're committed to preserving the natural world for generations to come.



## 2. MASTER PLAN VISION

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## 2.1 ARCADIA ILLUSTRATIVE MASTER PLAN



 **ARCADIA**

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## 2.2 ARCADIA WEST MASTER PLAN VISION



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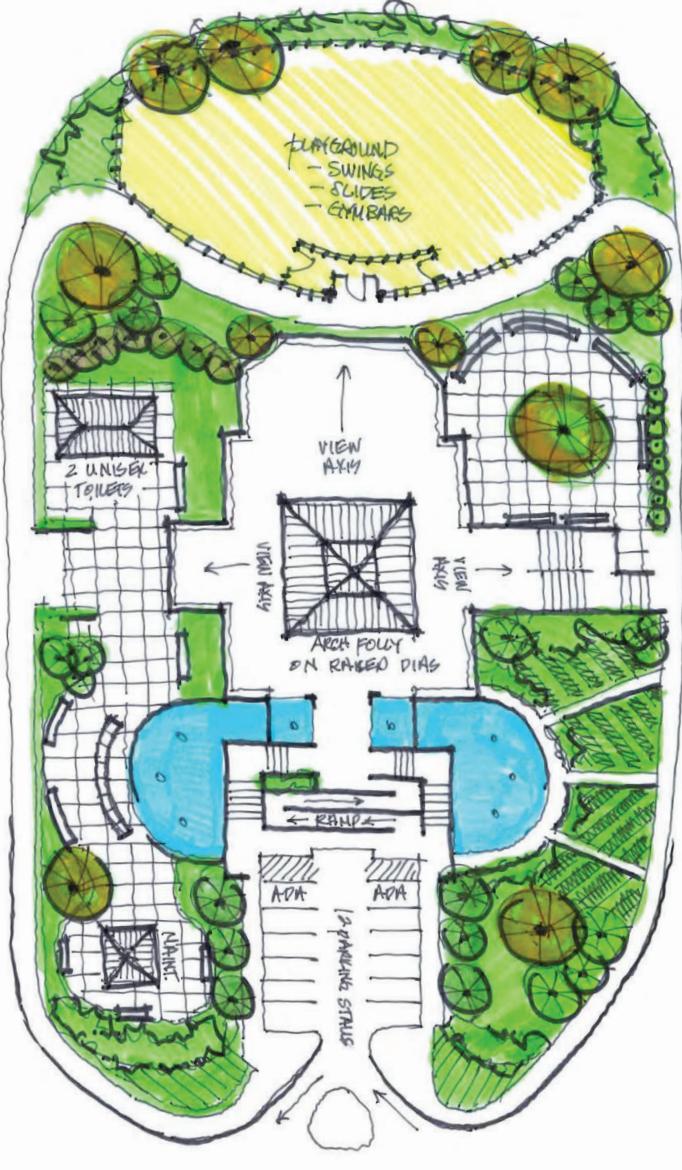
## 2.3 ARCADIA EAST MASTER PLAN



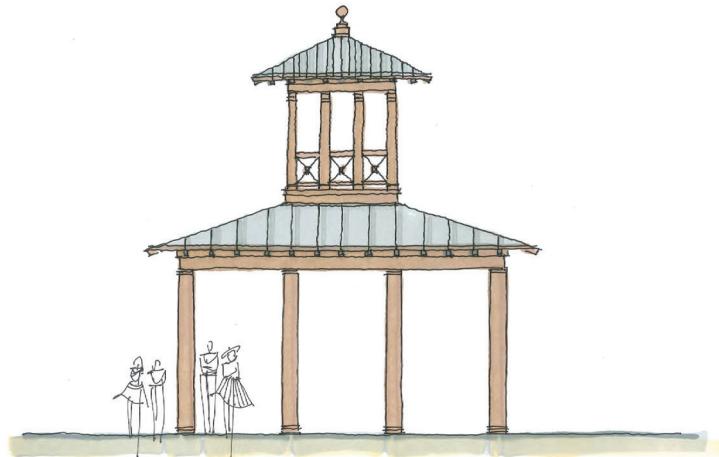
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## 2.4 ARCADIA EAST CENTRAL PARK PLAN



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Located within Arcadia East, Central Park is designed along the lines of nineteenth-century landscape architect and park planner: Frederick Law Olmsted. The park will showcase native tree and plant species, water features, children's playground along with an open-air architectural folly in the Arcadian tradition.

This is an artist conception and does not constitute any commitment from the developer. The lot lines, widths and depths are conceptual and subject to change.

 ARCADIA

### 3. DEVELOPMENT GUIDELINES

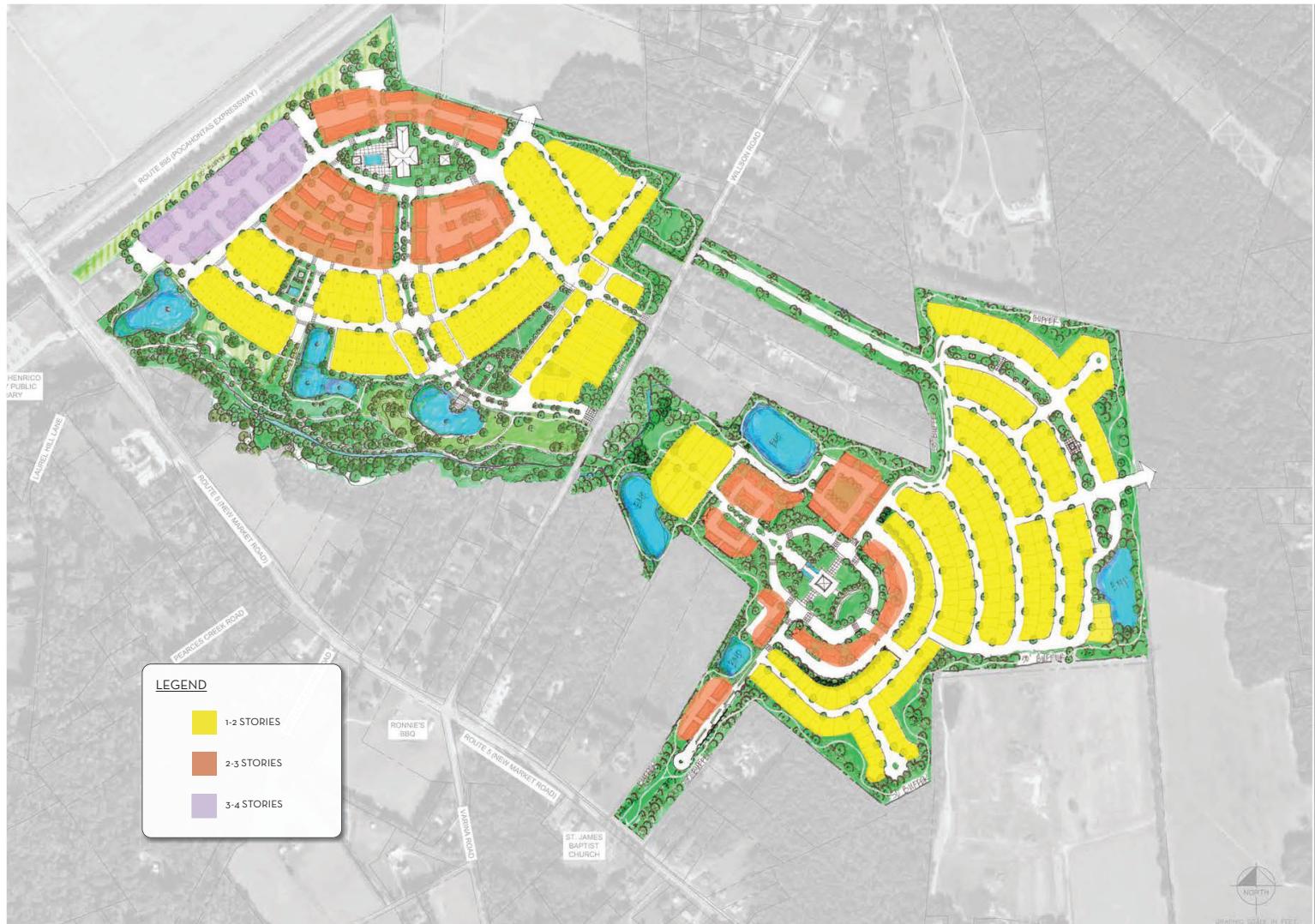
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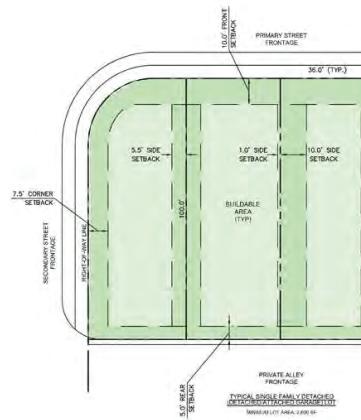
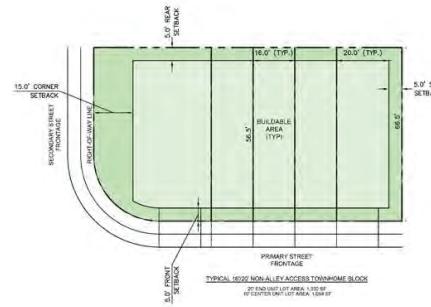
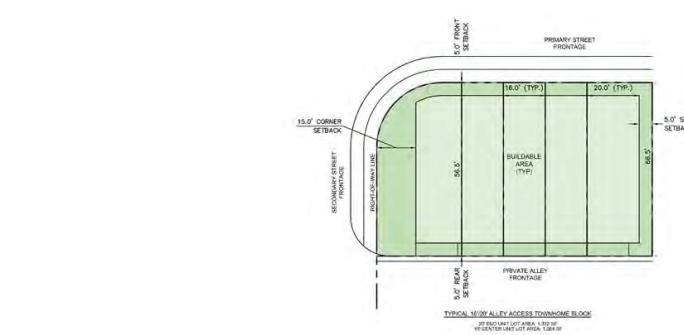
### 3.1 BUILDING HEIGHT DIAGRAM



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## 3.2 RESIDENTIAL LOT TYPES



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### 3.3 GENERAL RESIDENTIAL DEVELOPMENT STANDARDS

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#### **Alley Access Townhome Lot Standards.**

1. Each internal lot shall have a minimum lot area of 1,064 square feet and a minimum lot width of 16 feet
2. Each end lot shall have a minimum area of 1,662 square feet and a minimum lot width of 25 feet.
  - Lot Coverage. All buildings on any lot shall not cover more than seventy-five percent (75%) of the lot's area.
  - Frontages for Townhouse Units. Townhouse lots may front on a road, private pavement, or open space.
3. Townhome Setbacks.
  - Front Yard. The minimum front yard setback shall be five (5) feet
  - Side Yard. The side yard setback for all end lots shall be five (5) feet.
  - Corner Side Yard. The corner side yard shall be fifteen (15) feet from a public road and ten (10) feet from a private road, provided, however, porches, overhangs and second story balconies may be included within five (5) feet of the corner side yard setback.
  - Rear Yard. The minimum rear yard setback shall be five (5) feet. Where provided, rear second story decks shall be permitted to extend beyond the rear of the unit within the rear yard setback.
4. Principal Building Height. The maximum height of a principal dwelling unit shall be three (3) stories or 42 feet.
5. Parking will be accessed from the alley and will be accommodated on lot either within the foot print of the building, parking pad within the footprint of the lot or off lot in a motor court or parallel on the street fronting the townhome lot

#### **Non-Alley Access Townhome Lot Standards.**

1. Each internal lot shall have a minimum lot area of 1,064 square feet and a minimum lot width of 16 feet,
2. Each end lot shall have a minimum area of 1,662 square feet and a minimum lot width of 25 feet.
  - Lot Coverage. All buildings on any lot shall not cover more than seventy-five percent (75%) of the lot's area.
  - Frontages for Townhouse Units. Townhouse lots may front on a public road or private pavement
3. Townhome Setbacks.
  - Front Yard. The minimum front yard setback shall be five (5) feet
  - Side Yard. The side yard setback for all end lots shall be five (5) feet.
  - Corner Side Yard. The corner side yard shall be fifteen (15) feet from a public road and ten (10) feet from a private road, provided, however, porches, overhangs and second story balconies may be included within five (5) feet of the corner side yard setback.
  - Rear Yard. The minimum rear yard setback shall be five (5) feet. Where provided, rear second story decks shall be permitted to extend beyond the rear of the unit within the rear yard setback.
4. Principal Building Height. The maximum height of a principal dwelling unit shall be three (3) stories or 42 feet.
5. Parking will be accessed from the road and will be accommodated on lot either within the foot print of the building, parking pad within the footprint of the lot or off lot in a motor court or parallel on the street in front of the townhome lot.

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### 3.3 GENERAL RESIDENTIAL DEVELOPMENT STANDARDS, *continued*

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#### **Single Family Detached Development Standards. (*Front/Side Loaded Garage*)**

- a. Each lot shall have a minimum area of 3,600 square feet.
- b. Each lot shall have a minimum lot width of thirty-six (36) feet.
- c. The maximum percentage of lot coverage shall be fifty-five (55%).
- d. The minimum front yard setback shall be ten (10) feet.
- f. The minimum side yard setback for any lot shall be five and half (5.5) feet. One side yard setback may be reduced to one (1) foot if the other side yard on the opposite side of the dwelling is a minimum of eleven (11) feet wide. In any case, a minimum of eleven (11) feet shall be provided between single family dwellings.
- g. The minimum corner side yard setback shall be seven and a half (7.5) feet.
- h. The minimum rear yard setback shall be twenty (20) feet.
- i. Parking will be accessed from the road will be accommodated on lot either within the foot print of the building, parking pad within the footprint of the lot or attached or detached garage within the footprint of the lot.

#### **Single Family Detached Development Standards Alley Accessed. (*Detached and Attached Garage*)**

- a. Each lot shall have a minimum area of 3,600 square feet.
- b. Each lot shall have a minimum lot width of thirty-six (36) feet.
- c. The maximum percentage of lot coverage shall be fifty-five (55%).
- d. The minimum front yard setback shall be ten (10) feet.
- f. The minimum side yard setback for any lot shall be five and half (5.5) feet. One side yard setback may be reduced to one (1) foot if the other side yard on the opposite side of the dwelling is a minimum of eleven (11) feet wide. In any case, a minimum of eleven (11) feet shall be provided between single family dwellings.
- g. The minimum corner side yard setback shall be seven and a half (7.5) feet.
- h. The minimum rear yard setback shall be 5 (5) feet.
- i. Parking will be accessed from the alley and will be accommodated on lot either within the foot print of the building, parking pad within the footprint of the lot or attached or detached garage within the footprint of the lot.

## 4. THOROUGHFARE STANDARDS

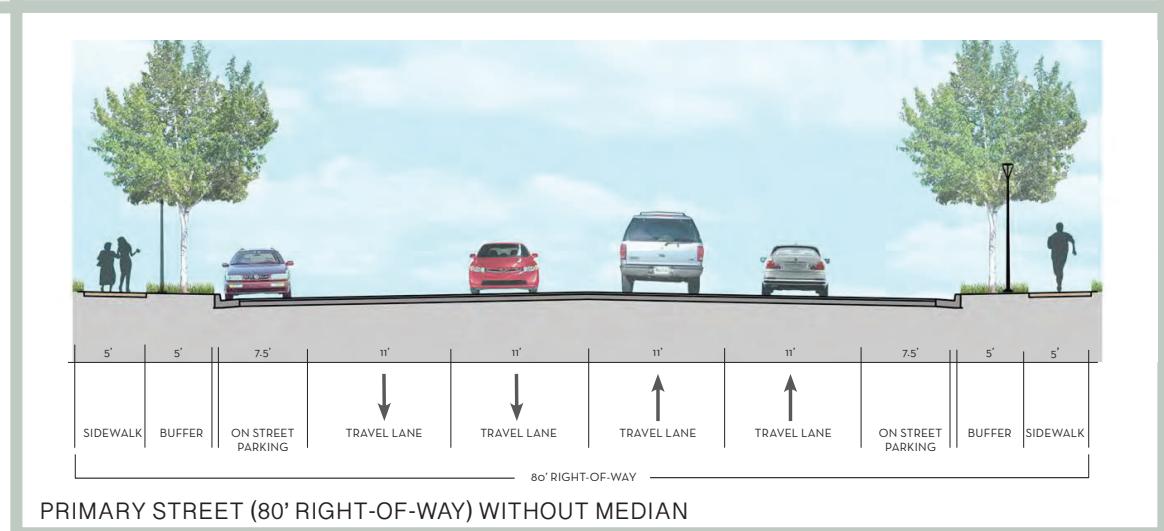
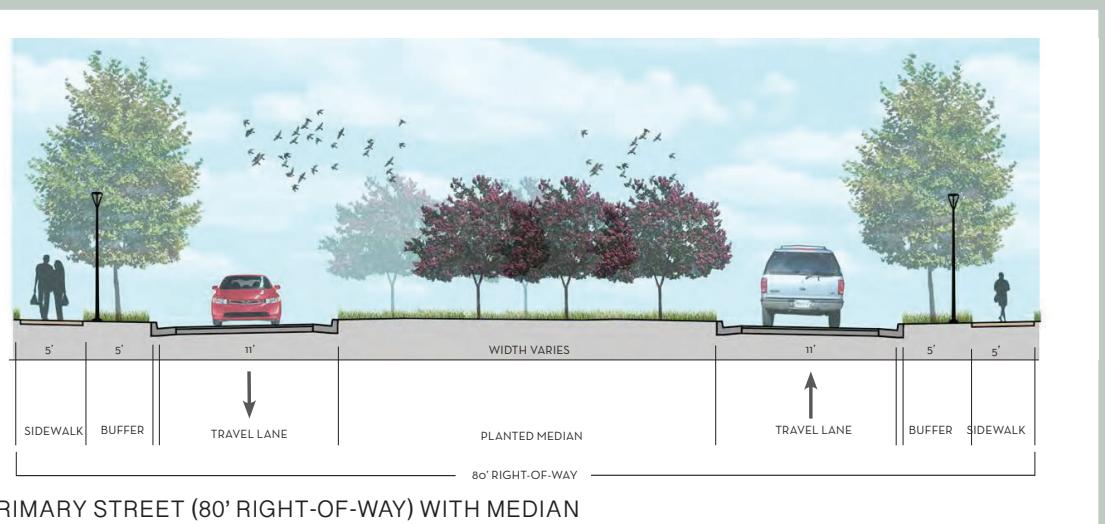
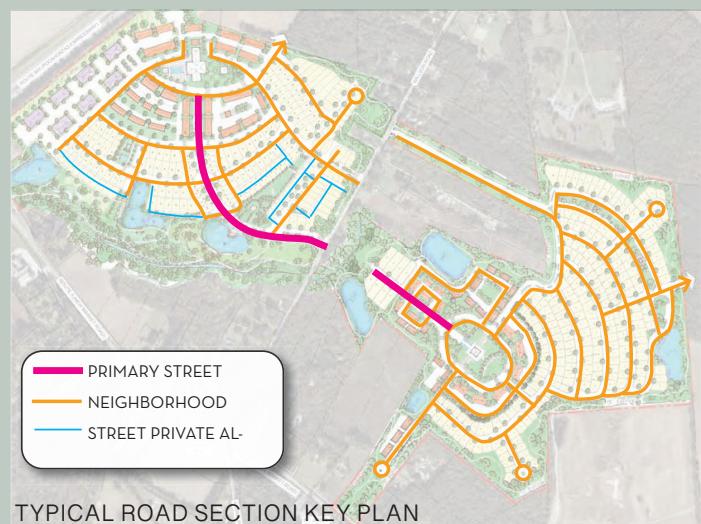
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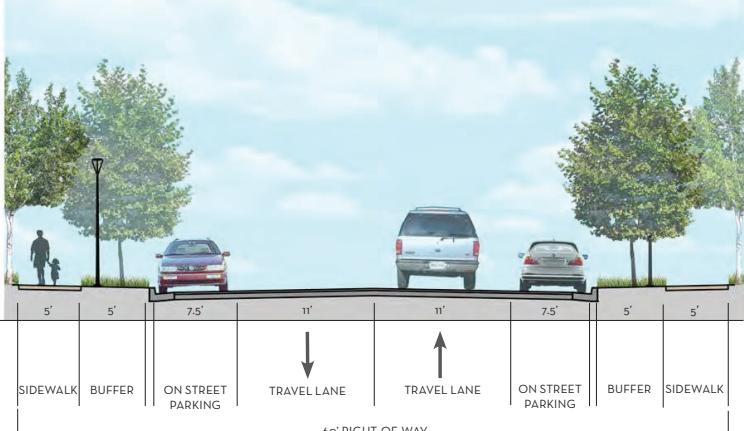
January 23, 2023

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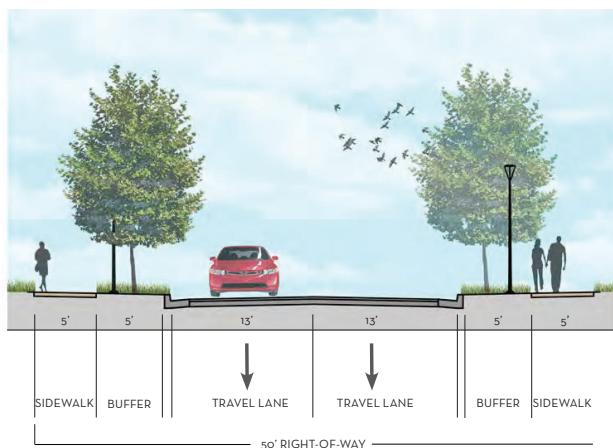
## 4.1 TYPICAL ROAD SECTIONS



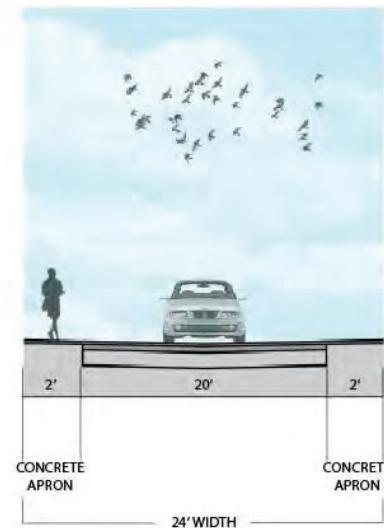
## 4.1 TYPICAL ROAD SECTIONS, *continued*



NEIGHBORHOOD STREET (60' RIGHT-OF-WAY)



NEIGHBORHOOD STREET (50' RIGHT-OF-WAY)



PRIVATE ALLEY (24' WIDTH)

## 5. ARCHITECTURAL STYLES

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These images are representative of the architectural styles that will be featured in Arcadia and do not constitute any commitment from the developer.

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## 5.1 RESIDENTIAL ARCHITECTURAL STYLES

To ensure a variety of diverse house façades, the same or similar elevations may not appear next door to, across the street from or diagonal to one another. Except for the color white, no two identical color schemes may appear next door to, across the street from or diagonal to one another. Likewise, the same over very similar elevations or color schemes (other than white) may not be repeated. The exception to this rule will apply to multifamily housing: townhouses lining the grand boulevard as well as those encircling the community's clubhouse may maintain a consistent façade. The same holds true for the condominium court.

The following four house styles will be permitted in Arcadia:

- Arts & Crafts
- Classical
- Contemporary
- European Romantic

### Materials

- Cladding: Brick, stone, fiber-cement siding, shakes or vinyl
- Roofing: Metal, 30-year asphalt shingle
- Windows: Wood, aluminum clad, vinyl or fiberglass
- Trim: Wood, fiber-cement boards, cellular PVC, vinyl or solid urethane
- Shutters: Vinyl, wood or wood composite, frequently louvered
- Soffits: Wood, wood composite, vinyl or solid urethane
- Gutters and Downspouts: Metal or aluminum
- Exterior Columns: Wood, fiberglass or wood composite
- Railings: Metal, aluminum, wood or wood composite
- Foundations: Brick, stone on block
- Exposed Front Foundations Including 12" Return: Brick, stone on block



## 5.2 ARTS & CRAFTS

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The following is an example of the Arts & Crafts style:



This style is derived from the traditions of Bungalow and Craftsman houses of the great prairie states. Characterized by an eclectic mix of architectural elements, this enduring style flourished in the early twentieth century. The Arts & Crafts Style is noted for its broad open porches, low sloping roofs with deep overhangs, nested gables and asymmetrical compositions. Window patterns are a simple 3 over 1, 4 over 1, 6 over 1 or 9 over 1. Columns can be full height or placed on piers; chamfered, squared, or angled. Round columns are generally not associated with this style. First floor height can be 9 ft or 10 ft; second floor at 9 ft.

## 5.3 CLASSICAL

---

The following is an example of the Classical style:



The Classical style is a timeless category that has its origins in ancient Greco-Roman architecture. Colonial, Colonial Revival, Georgian, Greek Revival and Neo-Classical are all subcategories of this style. Its design hallmarks include simple symmetrical forms with dominant front entry porch or portico supported by either round or squared columns or pilasters. There is an emphasis on simple crown and decorative mouldings. The Roof generally uses 10:12 or 12:12 pitches and gabled, but can also employ hips. When Cottage forms are used, designs are generally kept simple and diminutive with low 8:12 – 10:12 pitched roofs with decorative front entry porches. Generally, windows are symmetrically placed with tight muntin patterns of 6 over 6, 6 over 9, 9 over 9,

The renderings shown are an artist conception and do not constitute any commitment from the developer.

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## 5.4 CONTEMPORARY

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The following is an example of the Contemporary style:



Contemporary architecture is often viewed as a broad-brushed category, but for the Arcadia community, this category is meant to allow more streamlined facades that are based on traditional profiles. Examples of this can be found in millennial reworkings of American Farmhouse architecture. Generally, contemporary styles reflect a wide variety of shapes and designs: streamlined roofs with no overhangs, flat roofs with wide overhangs, or sometimes a combination thereof. Windows are often casements and without muntins. If columns are employed, they are often square and with little ornamentation.

## 5.5 EUROPEAN ROMANTIC

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The following is an example of the European Romantic style:



This style is based on early twentieth century interpretations of English and French architecture by American architects and builders. The source of the design comes from medieval English and French Norman cottages, manor houses and rural village vernacular structures. Elizabethan, French Norman, French Provincial and English Tudor are subcategories of this style. Cottage designs for this style are kept simple, but quirky. Gabled or hipped roofs are steeply pitched at 12:12 to 12:18 with exterior envelopes showing half timbering with either panel or lap siding between. It is normal for French styles to sport roof finials. Windows are large and multipaned and can employ a variety of muntins patterns from diagonal - diamond shapes to 4 over 4, 6 over 6, 9 over 9 and 12 over 12 patterns. First floor height can be 9 ft or 10 ft; second floor at 8 ft - 9 ft.

The renderings shown are an artist conception and do not constitute any commitment from the developer.

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## 5.6 REPRESENTATIVE HOMES



The renderings shown are an artist conception and do not constitute any commitment from the developer.

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## 5.7 REPRESENTATIVE HOMES



The renderings shown are an artist conception and do not constitute any commitment from the developer.

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## 6. LANDSCAPE DESIGN



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## 6.1 OVERALL LANDSCAPE DESIGN PLAN

The landscape of Arcadia is designed to support the many functions of the community's residential lifestyle while protecting and integrating it with the natural environment.

### Sustainable Principles:

- Emphasize regionalism and biodiversity through the use of native plants and habitats and the introduction of Streamside Park that forms part of the larger, regional drainage system
- Preserving natural hydrology
- Preserving habitats and wildlife corridors
- Create connections between the neighborhood and the larger ecosystems



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## 6.2 PARKS AND GREENS

The design of Arcadia's open space has been conceived to support the creation of a closely knit and walkable fabric tied to natural elements via a system of trails, pocket parks and amenity spaces. The network of spaces provides a series of nodes and linkages leading towards the featured amenity space surrounding the Club House.

The residential plan lays a hierarchy of circulation over the existing fields and a system of parks leading to natural areas, programmed amenity spaces, and historical sites. A hierarchy and typology of open spaces provides a variety of opportunities for people to meet, recreate and participate in their community.

These parks and greens have been created to encourage a strong sense of place and to provide recreational opportunities.

### Design Principles for Parks:

- Sustainable and ecological landscaping
- Encourage pedestrian amenities for play, recreation, and informal gathering
- Create walking trails and sidewalks that lead to community destinations
- Create engaging outdoor spaces and amenities that activate the community
- Connect to natural features and preservation areas with trails and meaningful open space



## 6.3 TRAILS AND WALKS



Arcadia's pedestrian network includes a variety of walk and trail types intended to provide a hierarchy of connections through the fabric of the community and through the major open space and green amenity features. A thoughtfully planned sidewalk network provides pedestrian access to all areas of the site without the necessity of a vehicle. Arcadia is also directly connected to the Virginia Capital Trail system that runs along the Route 5 corridor. This 51 mile trail connects bikers and pedestrians from Richmond to Williamsburg.

The Streamside Trail in Arcadia allows pedestrians to engage the waterfront from a number of points. The Streamside Trail is intended to provide an opportunity for immersion in the native landscape that provides wildlife habitat and respite along the waters edge.

All trail ways adjacent to the stream will be field located to minimize impacts to vegetation and RPA areas. The stream park trail provides a connection from the informal natural areas at the community's edge to the programmed amenity spaces at the heart of the development.

## 6.4 STREAMSIDE PARK



These amenities are examples from other properties developed by East West Communities and do not constitute any commitment from the developer.

Streamside Park is located along the southern border of the Western site. The park preserves open space and tree canopy. The park provides an immersive network of walking trails. Native grass and shrub species will enhance the appearance of the stream valley as well as improve water quality.

### Potential Features:

- Overlook
- Meadow
- River's edge forest
- Park which doubles as storm water management dry pond

## 6.5 STORMWATER MANAGEMENT



This is an artist conception and does not constitute any commitment from the developer.  
The lot lines, widths and depths are conceptual and subject to change.

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Stormwater requirements will be addressed when applicable through green technology and best management practices such as bio-swales and created wetlands. The stormwater strategy for the entire site shall be defined prior to the first phase of construction.

A variety of stormwater management treatments is envisioned for Arcadia. Some of these treatments could act as landscape features enhancing the pedestrian experience. Stormwater treatments may include bioretention or rain gardens that could be planted with a consideration of seasonal interest. Grass swales, located adjacent to sidewalks might also be included and would provide a broad swath of green and create visual links throughout the project. Stormwater management ponds will be planted to enhance their appearance and create memorable places within the open space system.

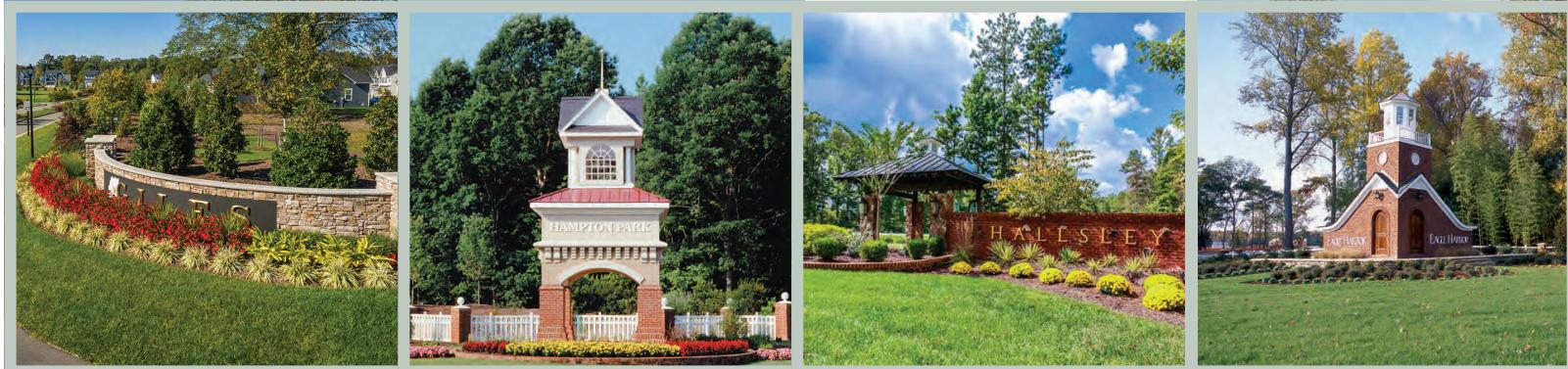
 ARCADIA

## 6.6 MAIN ENTRY FEATURE INSPIRATION

Entering through the main entrance off Willson Road, one proceeds through a beautifully tree-lined and curvilinear boulevard with a community amenity at the street's terminus. The progression from entrance to the heart of the site mimics the progression within a small town: from rural to suburb to urban.

Key Potential Elements:

- Monumental Signage
- Special paving signifying entry into community
- Pedestrian refuges and connections along roadway
- Lush vegetation evoking the unique regionality of the community



These entry monuments are examples from other properties developed by East West Communities and do not constitute any commitment from the developer.

## 6.7 THE GREENBELT

Intersecting this boulevard is a secondary amenity axis: a greenbelt muse. To the right, walking trails take one through a park-like setting, punctuated with nodes of floral opportunities; to the left, an architectural folly that serves as gateway to nearby streamside hiking trails and ponds.

### Key Potential Elements:

- Place-making devices such as site furnishings, interpretive signage, specialty paving, pavilion or other central monument;
- Variety of scaled spaces for community use and social interaction;
- Native trees and expansive lawns



## 6.8 CLUBHOUSE AMENITY INSPIRATION

"The Clubhouse" anchors the community center of activity for Arcadia. At the heart of The Clubhouse is a designed public area that creates cohesion and a sense of place for the community.

A clubhouse green is planned as a "common room" for Arcadia residents and will accommodate a playground, sitting areas, and lawn areas designed for activities. This amenity provides opportunities for the community to come together, both in the summer months with a resort style pool, and year round with other activities. Proposed seating opportunities will allow for enjoyment of the planting during all seasons.

Through traffic calming measures, the site design provides easy access to a pedestrian-friendly environment while at the same time promoting safe and efficient vehicular circulation around this core amenity space.

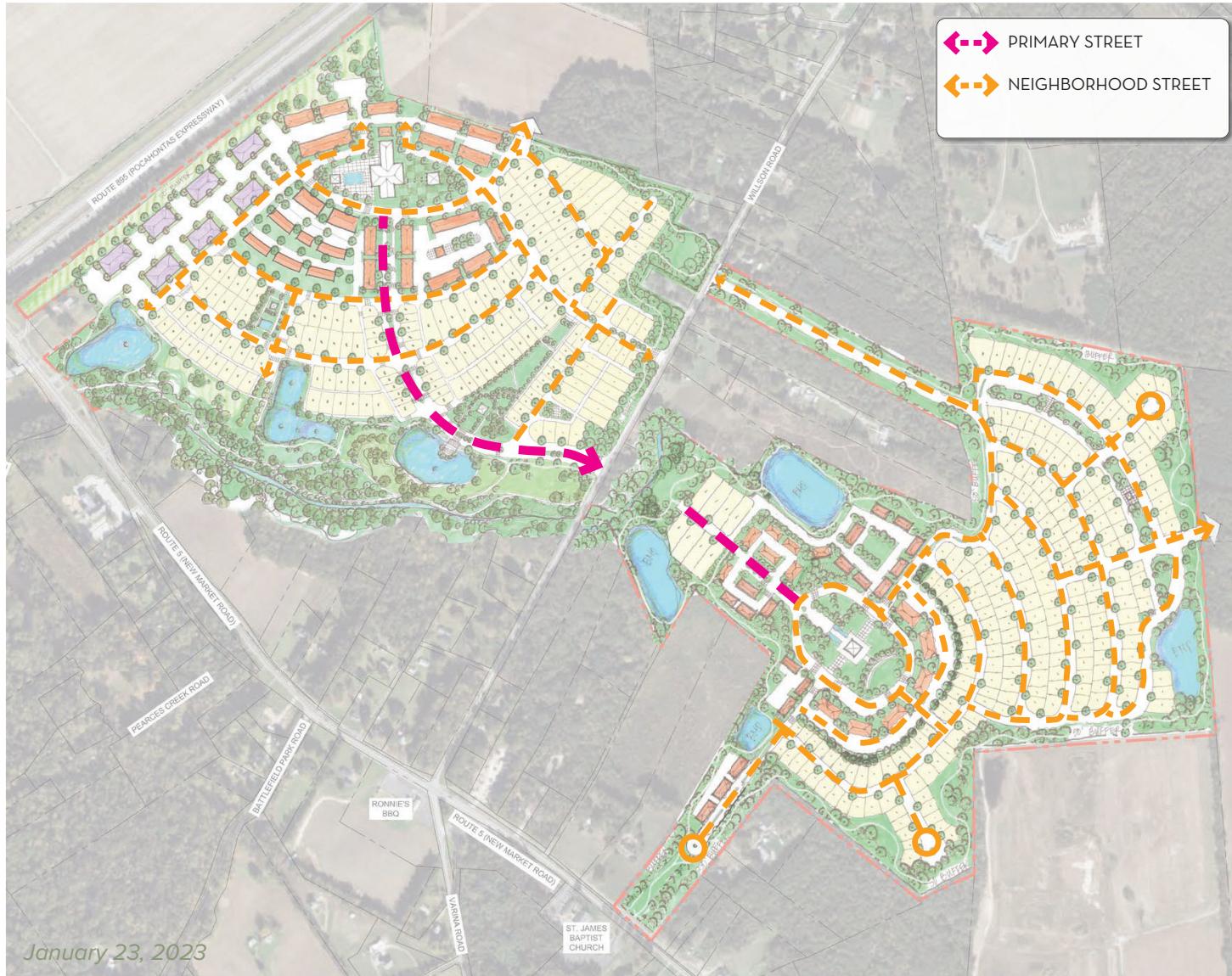
### Key Potential Elements:

- Resort style pool and adjacent gathering space
- Places for social interaction
- Open lawn area for multiple uses
- Regularly spaced street trees
- Sidewalks
- Architectural focal point such as gazebo, trellis or pergola
- Seating nooks / variety of seating opportunities
- Native plant palette with seasonal interest
- Raised garden beds for community plantings including flowers, herbs, and vegetables



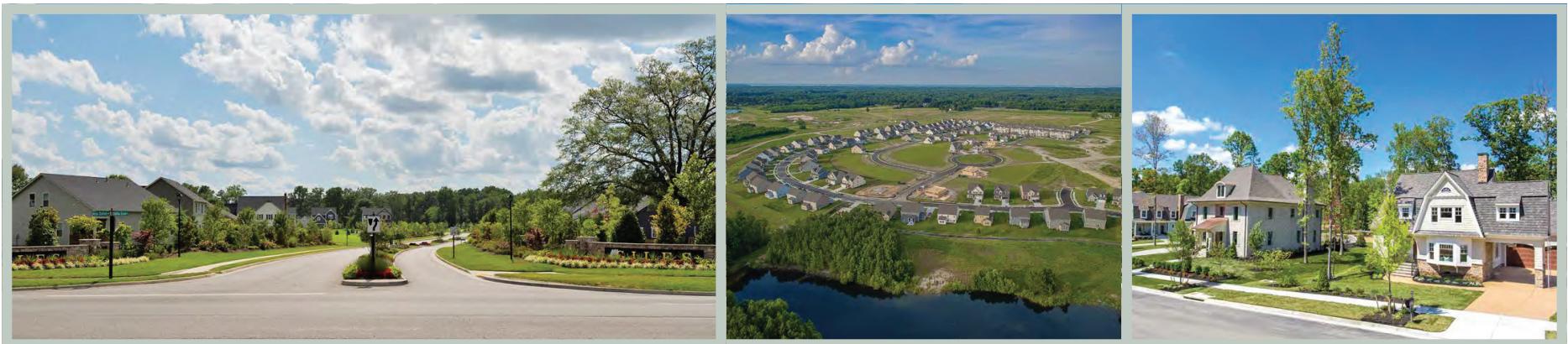
These amenities are examples from other properties developed by East West Communities and do not constitute any commitment from the developer.

## 6.9 PRIMARY BOULEVARD



The goal for Primary Boulevard is to create a front door to the project that transitions from a major road to a human scaled environment.

The boulevard is flanked by an alley of large deciduous trees to create a pedestrian scaled walkway separate from the traffic lanes. A combination of grading and planting of ornamental trees, continuous evergreen shrubs, and a lushly planted median featuring flowering shrubs and ground covers will be used to create an impactful entry experience.



## 6.10 NEIGHBORHOOD ROADWAY

The proposed landscape for neighborhood roadways in Arcadia will enhance the appearance and experience of circulation through the site. A variety of street tree species will be selected with an emphasis on native species. Trees will generally be located in the verge between sidewalk and street. A minimum spacing of 35' o.c. is proposed for all street trees where feasible, and not in conflict with utilities or other constraints. Street trees will be planted to provide an immediate visual presence and provide shade. Canopy street trees shall be installed at a minimum of 2-1/2" caliper, while ornamental street trees on major pedestrian streets shall be installed at a minimum of 2-1/2" caliper. In areas of general landscape use, canopy trees will measure a minimum of 2-1/2" caliper, and ornamental trees will measure a minimum of 1-1/2" caliper.

## 6.11 PARKING

Parking landscaping for Arcadia's multi-family and townhouse spaces will meet or exceed the Henrico County parking lot requirements. Canopy trees will be selected to provide visual relief and summer shade. Landscaping shall permit adequate sight distance for motorists and pedestrians entering and exiting the parking area.

Where parking lots abut roadways, an evergreen hedge shall be installed along the length of the parking lot abutment at a height not to exceed 3-1/2 feet. This hedge will be located no more than ten feet beyond the trees along the right-of-way frontage. Canopy trees shall be installed at a minimum size of 3- 1/2" caliper. Evergreen hedge shrubs will be installed at a minimum 24" height. The applicant is proposing the following parking requirements based on unit size.

- i. 1 parking space for units with a gross floor area of 800 to 1,200 square feet.
- ii. 1.5 parking spaces for units with a gross floor area of 1,200 to 1,600 square feet.
- iii. 1.8 parking spaces for units with a gross floor area of 1,600 to 2,000 square feet.
- iv. 2 parking spaces for units with a gross floor area of 2,000+ square feet.

## 6.12 REPRESENTATIVE PLANT LIST

### CANOPY TREES:

Acer buergerianum - Trident Maple  
Acer rubrum - Red Maple  
Acer saccharum - Sugar Maple  
Liquidambar styraciflua - Sweet Gum (Fruitless)  
Liriodendron tulipifera - Tulip Tree  
Metasequoia glyptostroboides - Dawn Redwood  
Nyssa sylvatica - Black Gum  
Platanus occidentalis - American Planetree  
Platanus acerifolia - London Planetree  
Quercus coccinea - Scarlet Oak  
Quercus palustris - Pin Oak  
Quercus phellos - Willow Oak  
Quercus rubra - Northern Red Oak  
Taxodium distichum - Bald Cypress  
Ulmus americana - American Elm  
Zelkova serrata - Japanese Zelkova



### EVERGREEN TREES:

Ilex opaca - American Holly  
Juniperus virginiana - Eastern Red Cedar  
Magnolia grandiflora - Southern Magnolia  
Magnolia acuminate - Cucumber Magnolia  
Pinus virginiana - Virginia Pine  
Thuja occidentalis - Arborvitae

### UNDERSTORY TREES:

Amelanchier canadensis - Serviceberry  
Betula nigra - River Birch  
Carpinus caroliniana - Musclewood  
Cercis canadensis - Redbud  
Chionanthus virginicus - Fringetree  
Magnolia virginiana - Sweetbay Magnolia  
Oxydendrum arboreum - Sourwood  
Pistacia chinensis - Chinese Pistache

Note: Final plant selection will emphasize native and adaptive species.

January 23, 2023

## 6.13 SITE LIGHTING

Proposed lighting at Arcadia will consist of LED street and parking area lights. Lighting fixtures including arm lights, up lights, bollards, building mounted lights, seasonal lights, and indirect lights, will focus the user's attention on the architectural and landscape features throughout Arcadia.

These lighting fixtures will complement the architectural and landscape typology and may vary in appearance. LED lighting fixtures are proposed; however, halogen fixtures may be used if LED is not available.

A lower, consistent level of lighting is proposed to provide even photometric coverage of vehicular and pedestrian areas. Street lights will target an average illumination of 0.5 foot candles throughout the development. A max to minimum ratio of 15:1 is proposed for all street and parking lot area lighting to maintain uniformity so pedestrians and drivers can see safely.

Street lights will be located within the landscape amenity panel, ten feet minimum from the center of street trees. Placement of the street light poles will be located near the side property lines of residential lots where possible. Per the Henrico County zoning ordinance, illumination will not exceed 1.0 foot candles beyond ten feet from the property line.



## 6.14 SITE FURNITURE

A variety of site furnishings will provide seating and gathering opportunities throughout the project. The selection of site furnishing materials will be influenced by their immediate setting in parks or plazas. ADA compliant seating will be included in some of the selections.

These amenities are examples from other properties developed by East West Communities and do not constitute any commitment from the developer.