

C-12C-07
Zoning
 Car Wash
 Fairfield District
 400
 PS December 2006 Ref: 801-732-2625



COMMONWEALTH OF VIRGINIA
COUNTY OF HENRICO

Virgil R. Hazelett, P.E.
County Manager

March 20, 2007

Mr. Young You
15020 Danube Way
Haymarket, VA 20169

Re: Conditional Rezoning Case C-12C-07

Dear Mr. You:

The Board of Supervisors at its meeting on March 13, 2007, granted your request to conditionally rezone from B-3C Business District (Conditional) to B-3C Business District (Conditional), Parcels 801-732-1911 and 801-732-2625, described as follows:

Out parcel "B"

Commencing at a nail set on the easterly right-of-way line of Mechanicsville Turnpike, (U.S. Route 360), 501.00' south of the southern right-of-way line of Harvie Road, being the Point of Beginning, labeled P.O.B. #1; thence departing the easterly right-of-way line of Mechanicsville Turnpike (U.S. Route 360), with the lands of New Oak Hill Plaza, LLC the following two (2) courses and distances: (1) S 62°03'27" E, 160.00' to a nail set; and (2) S 27°56'33" W, 134.00' to a nail set; thence with the lands of Oak Hill OP, LLC, N 62°03'27" W, 160.00' to a rod set on the easterly right-of-way line of Mechanicsville Turnpike (U.S. Route 360); thence along the easterly right-of-way line of Mechanicsville Turnpike (U.S. Route 360), N 27°56'33" E, 134.00' a nail set, being the Point of Beginning.

Out parcel "C"

Commencing at a rod set on the easterly right-of-way line of Mechanicsville Turnpike, (U.S. Route 360), 635.00' south of the southern right-of-way line of Harvie Road, being the Point of Beginning, labeled P.O.B. #2; thence departing the easterly right-of-way line of Mechanicsville Turnpike (U.S. Route 360), with the lands of Oak Hill OP, LLC S 62°03'27" E, 160.00' to a nail set; thence with the lands of New Oak Hill Plaza, LLC the following two (2) courses and distances: (1) S 27°56'33" W, 135.00' to a nail set; and (2) N 62°03'27" W, 160.00' to a lead hub found on the easterly right-of-way line of

Mechanicsville Turnpike (U.S. Route 360); thence along the easterly right-of-way line of Mechanicsville Turnpike (U.S. Route 360), N 27°56'33" E, 135.00' a rod set, being the Point of Beginning.

The Board of Supervisors accepted the following proffered conditions, dated February 14, 2007, which further regulate the above described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

1. **Uses.** Permitted uses on the property shall be limited to an express car wash as permitted in the B-3 Zoning District and uses permitted in the B-2 Zoning District except the following:
 - a. Gun Shops, sales and repair;
 - b. Flea Markets;
 - c. Establishments whose primary business is Check cashing or making payday loans as defined and regulated by Sections 6.1-432 et. seq. and 6.1-444 et seq. of the Code of Virginia (this shall not preclude banks, savings and loans or similar institutions that are not regulated by the foregoing Virginia Code sections);
 - d. Adult businesses as defined in the Henrico County Zoning Ordinance.

An express car wash shall be herein defined to include:

- A single-bay car wash building;
- Self-service vacuum area;
- Automated pay stations; and
- One to three employees present during hours of operation.


2. **Signage.** There shall be no detached signs. Attached signage shall be permitted as regulated in the B-2 District.
3. **Hours of Operation.** Hours of operation shall be limited to between the hours of 6:00 a.m. to 11:00 p.m.
4. **Buffer on Mechanicsville Turnpike.** There shall be a minimum 10' wide landscaping strip along the perimeter of the property. The landscaping strip shall include supplemental plantings in addition to code requirements.
5. **Access.** There will be no direct access to Mechanicsville Turnpike.
6. **Exterior Materials.** The building front, sides, and rear shall be constructed using a combination of primarily earth tone split-face block, glass, and a standard seam roof. This shall not prevent vinyl or other materials to be used for trim or for architectural accents, in no event shall any exposed or untreated cinderblock be used.

7. **Conceptual Site Plan.** The property shall be developed substantially similar to the conceptual site plan prepared by Potts, Minter and Associates, PC entitled Preliminary Plan Bubbles Car Wash and dated December 12, 2006 (see case file).
8. **Elevations.** The building shall be constructed substantially similar to the elevations prepared by M.I.A. entitled Bubbles Car Wash and dated December 13, 2006 (see case file).
9. **Trash Receptacles.** Trash receptacles shall be screened from public view at ground level.
10. **Dumpster Containers.** Except for gates and doors, dumpster enclosures shall be constructed of the same materials as the principal structure and shall be painted to match the building. Gates and doors shall be opaque, substantial, and oriented to minimize views of the enclosures from public rights-of-way, unless otherwise requested and approved at the time of Plan of Development. Support posts, gate frames, hinges, and latches shall be of a sufficient size and strength to allow the gates to function without sagging or becoming a visual eyesore as determined at the time of Plan of Development. Concrete pavement shall be used where the refuse container pad and apron are located.
11. **HVAC Equipment.** Heating, air conditioning, and other mechanical equipment shall be screened from public view at ground level at the property lines.
12. **Underground Utilities.** Except for junction boxes and meters, all new utilities lines to the building shall be underground.
13. **Lighting.** All lighting shall be produced from concealed sources of light. Lighting shall be reduced to a minimum level necessary for security purposes following the close of business. Any canopy lighting shall be recessed, flat lens fixtures.
14. **Public Address.** No public address, paging, or speaker system that is audible at the property line shall be permitted or installed outside of any building.
15. **Outside Storage and Vending.** The storage of materials, placement of vending machines, or installation of seating shall be prohibited outside the building.
16. **Parking Lot Lighting.** Parking lot lighting standards shall not exceed twenty-five (25) feet in height and shall be produced from concealed lighting sources.

Mr. Young You
March 20, 2007
Page 4

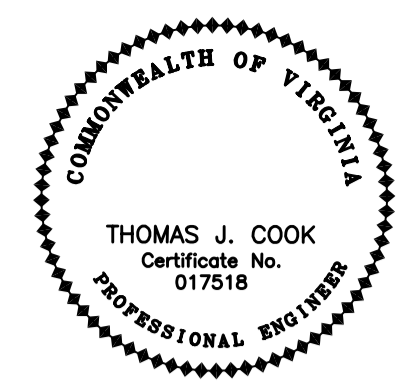
The Planning Department has been advised of the action of the Board of Supervisors and will revise its records and place a copy of the accepted proffered conditions in the Conditional Zoning Index.

Sincerely,



Virgil R. Hazelett, P.E.
County Manager

pc: Oak Hill OP LLC
Director, Real Estate Assessment
Conditional Zoning Index



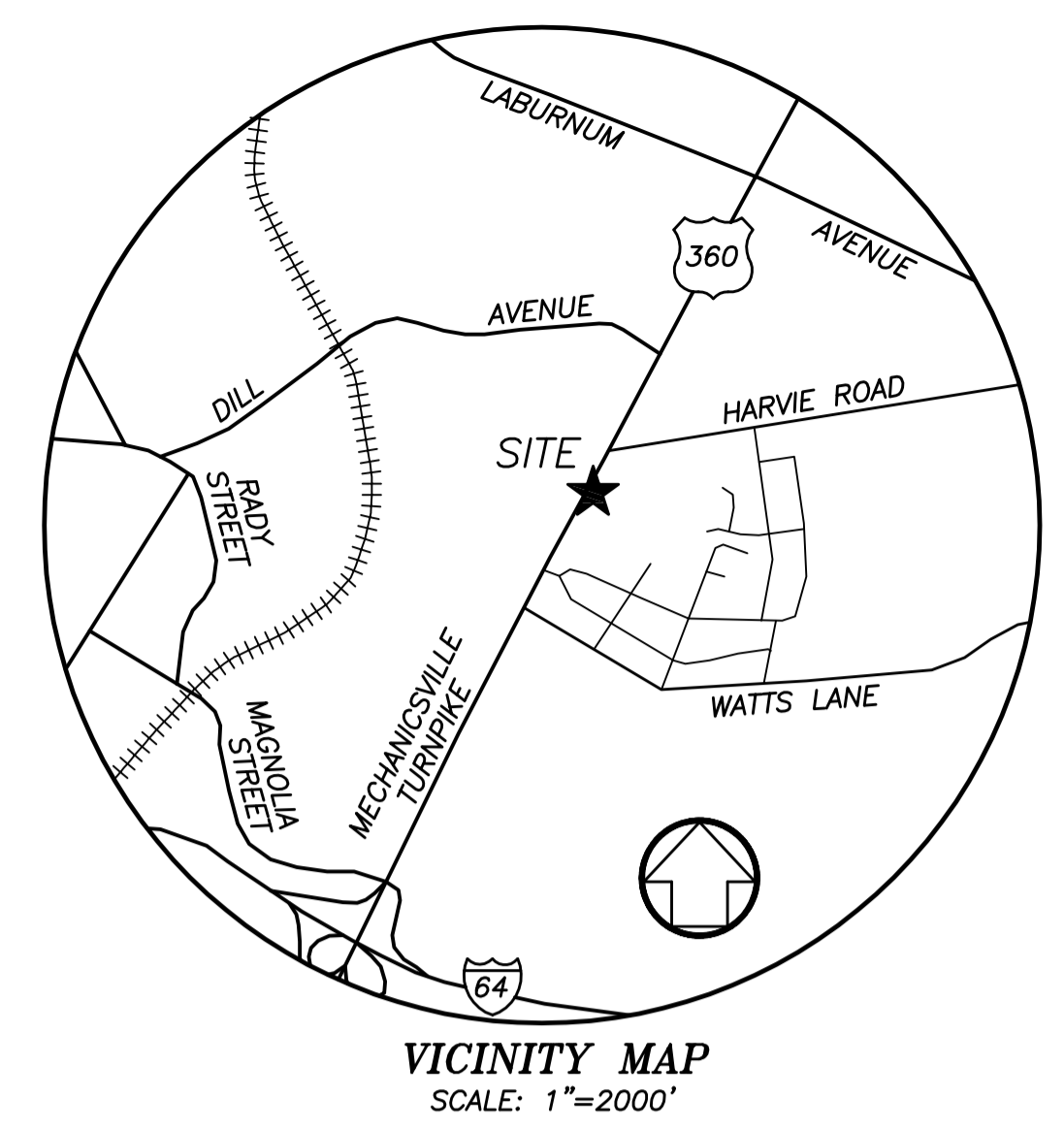
DESIGNED BY:
T.J.C.
DRAWN BY:
K.J.N.
CHECKED BY:
T.J.C.

POTTS, MINTER, AND ASSOCIATES P.C.
Engineers, Land Surveyors, Land Planners
3520 S. Courthouse Road, Richmond, Va. 23236
Phone: (804) 745-2876 Fax: 745-9571

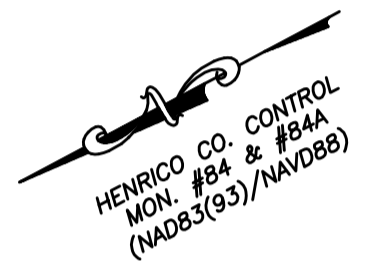
PRELIMINARY PLAN
BUBBLES CAR WASH
FAIRFIELD DISTRICT
HENRICO COUNTY, VIRGINIA

REMARKS:	
DATE:	
DATE:	DECEMBER 12, 2006
SHEET NO.:	1 OF 1
SCALE:	1"=20'
JOB NO.:	0611-15

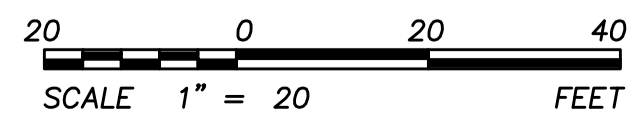
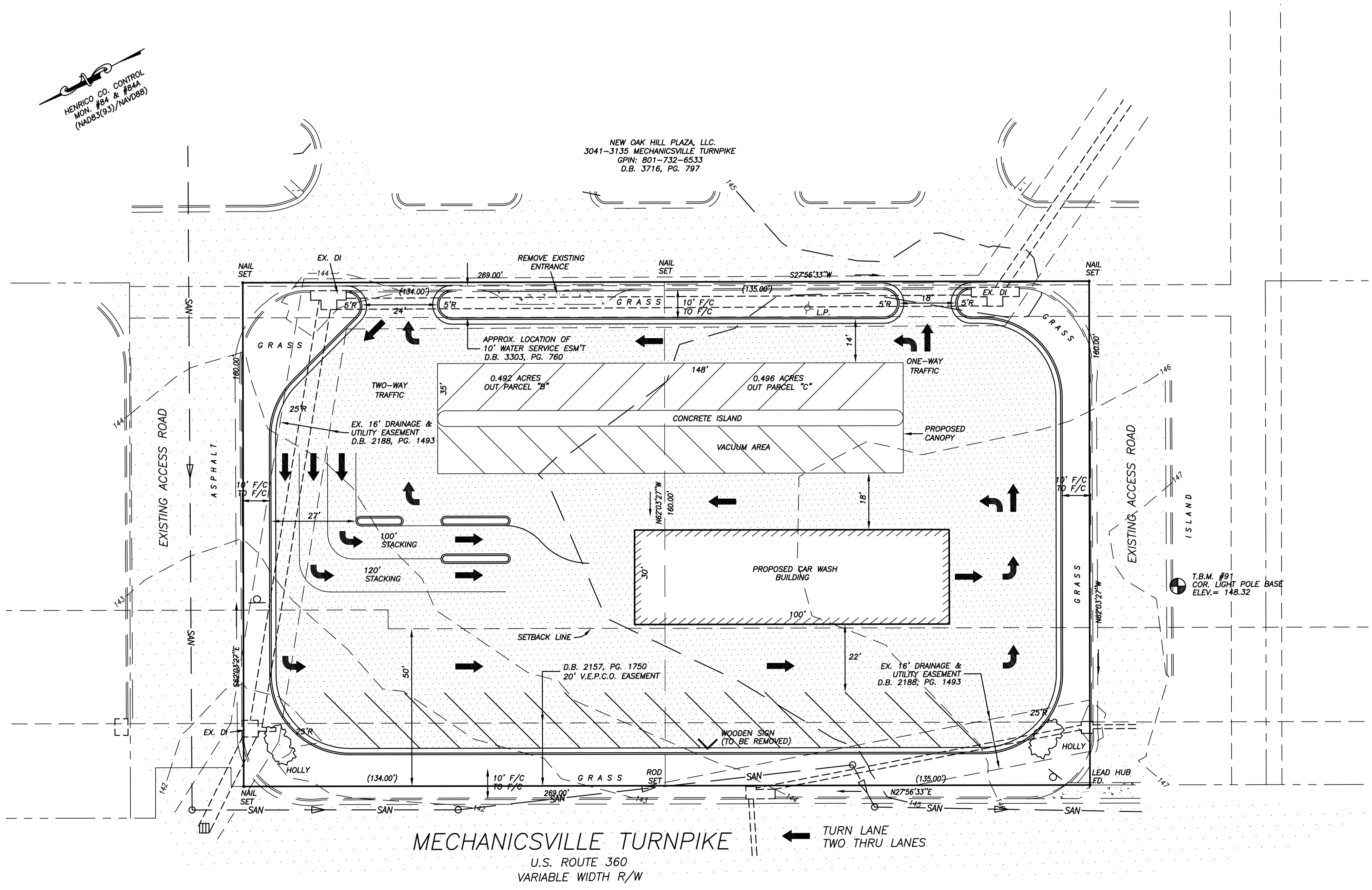
NOTE:
THIS PROPERTY IS LOCATED IN ZONE C AS SHOWN
ON FEMA COMMUNITY PANEL NO. 510077 0050 B
(EFFECTIVE DATE FEBRUARY 4, 1981)



- SITE DATA:**
- SITE ADDRESS: OAK HILL PLAZA SHOPPING CENTER
OUT PARCELS "B" & "C"
MECHANICSVILLE, VA. 23223
 - OWNER: BUBBLE WASH II
3340 GALLOW'S ROAD
ANNADALE, VA. 22003
FAX: (703) 207-0622
TELE: (703) 207-0800
CONTACT: YOUNG YOU
 - USE: CAR WASH
 - ZONED: B3-C
 - TOTAL ACREAGE: 0.987 AC.
 - WATER: COUNTY SYSTEM
 - SEWER: COUNTY SYSTEM
 - DRAINAGE: CURB & GUTTER
 - BUILDING AREA: 3000 SQ. FT.
 - NO. OF STORIES: ONE
 - SITE IMPERVIOUS=0.74 AC. (75%)



NEW OAK HILL PLAZA, LLC.
3041-3135 MECHANICSVILLE TURNPIKE
GPIN: 801-732-6533
D.B. 3716, PG. 797



C-12C-07

PROJECT NAME

ISSUE RECORD DATE
PRELIMINARY LAYOUT 12/13/06

DRAWING TITLE

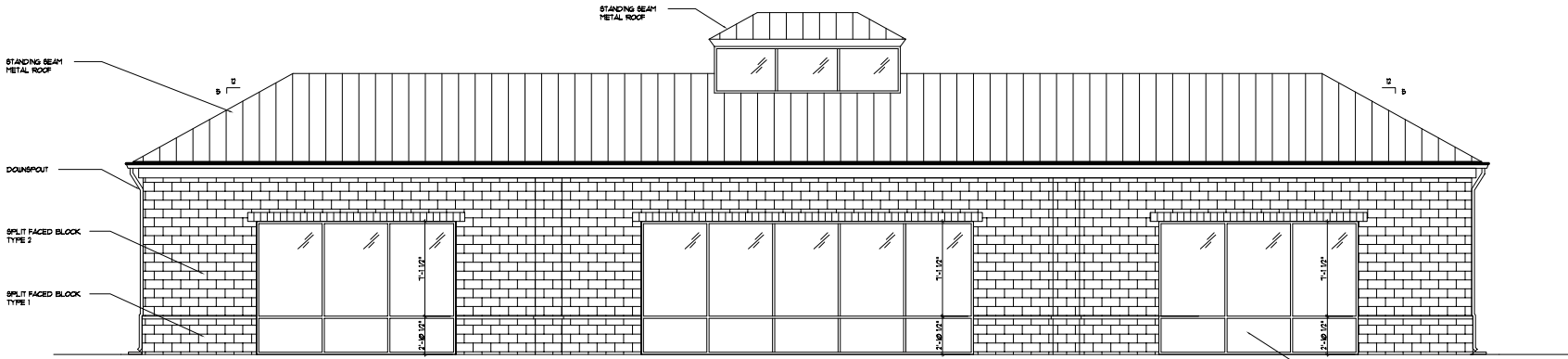
EXT. ELEVATIONS

SCALE as shown on

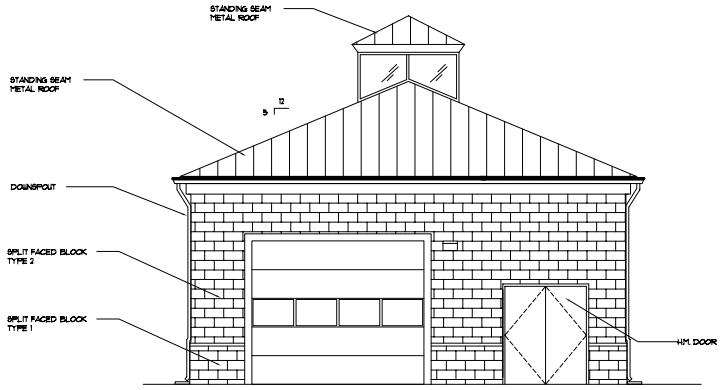
DATE

NUMBER

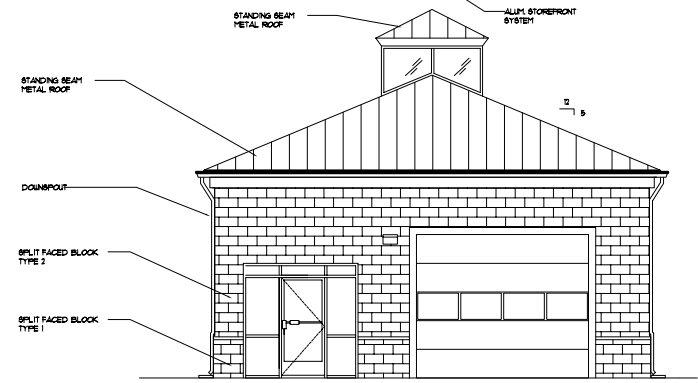
SHEET NO.



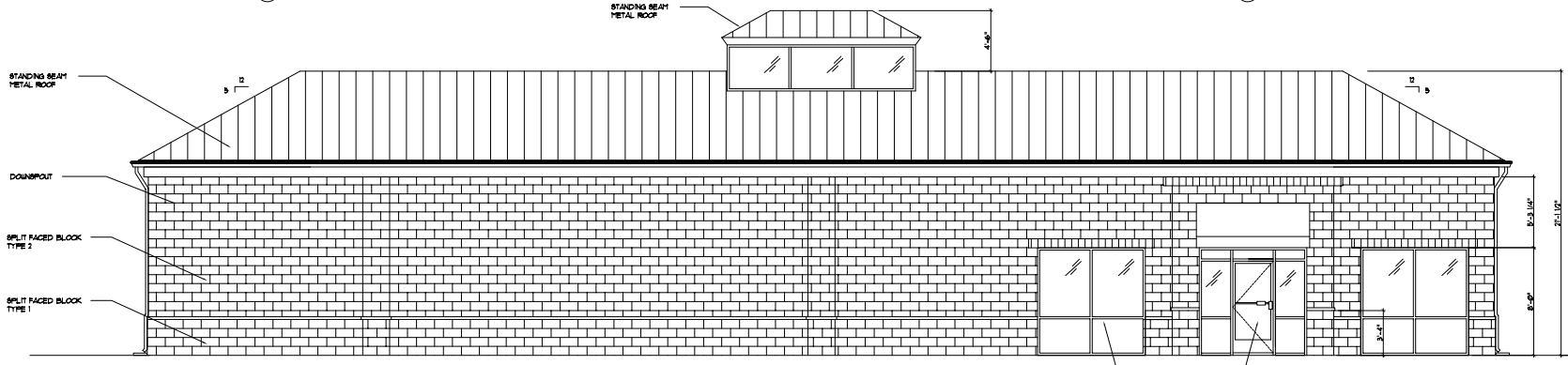
1 REAR ELEVATION
A2.1 SCALE: 1/4"=1'-0"



2 LEFT SIDE ELEVATION
A2.1 SCALE: 1/4"=1'-0"



2 RIGHT SIDE ELEVATION
A2.2 SCALE: 1/4"=1'-0"



1 FRONT ELEVATION
A2.1 SCALE: 1/4"=1'-0"