

PROP. SPRINGFIELD ROAD EXTENDED

Echo Lake
Elem. School

A-1 to R-5AC
14.2 +/- Ac.

AS APPROVED BY THE
BOARD OF SUPERVISORS
6/14/04

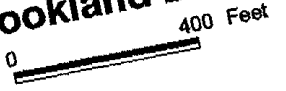


ZONING

Single-Family Residential

Ref. 759-767-5161

C-61C-04
Brookland District



September 2004



COMMONWEALTH OF VIRGINIA
COUNTY OF HENRICO

Virgil R. Hazelett, P.E.
County Manager

June 21, 2005

Mr. Gibson M. Wright
Dominion Land & Development Partnership
8100 Three Chopt Road, Suite 113
Richmond, VA 23229

Re: Conditional Rezoning Case C-61C-04

Dear Mr. Wright:

The Board of Supervisors at its meeting on June 14, 2005, granted your request to conditionally rezone property from A-1 Agricultural District to R-5AC General Residence District (Conditional), Parcels 759-767-5161, 759-767-2638, 759-767-6934, 759-767-6516 and 758-767-8413, described as follows:

Beginning at a point on the west line of Francistown Road, said point being 80' south of the south line of Singletree Lane extended; thence, along the west line of Francistown Road S11°43'11"W, for a distance of 579.57' to a point; thence, S11°39'45"W, for a distance of 54.84' to a point; thence, N77°37'59"W, for a distance of 716.20' to a point; thence S32°23'56"W, for a distance of 185.75' to a point; thence, N77°33'04"W, for a distance of 107.72' to a point; thence, S32°23'56"W, for a distance of 185.75' to a point; thence, N77°02'51"W, for a distance of 158.98' to a point; thence, N32°19'42"E, for a distance of 1036.09' to a point; thence, S78°13'39"E, for a distance of 749.26' to the said point of beginning, containing 14.2 acres more or less.

The Board of Supervisors accepted the following proffered conditions, dated June 14, 2005, which further regulates the above described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

1. **Conceptual Plan.** Development of the Property shall be in substantial conformance with the conceptual site plan attached hereto as Exhibit "A" (see case file).
2. **Density.** There shall be no more than thirty-three (33) homes developed on the Property.
3. **Minimum Lot Width.** At least eighty percent (80%) of all buildable lots within the Property shall have a minimum lot width of 80 feet. No lot shall be less than seventy (70) feet. Lots fronting on Francistown Road shall have an average width of eighty (80) feet.
4. **Minimum Size.** The minimum size of all homes constructed on the Property shall be 3,200 gross square feet, of which a minimum of 2,800 square feet shall be finished. These square footage requirements shall be exclusive of garages.
5. **Francistown Road Lot Orientation.** Homes on any lot abutting Francistown Road shall have the front elevation facing Francistown Road.
6. **Francistown Road Lot Access/Frontyard Setback.** All lots fronting on Francistown Road shall be accessed by a twenty (20) foot access strip that shall be built to Henrico County public road standards except as to pavement width. Prior to issuance of any certificates of occupancy for any homes utilizing the access strip, the Applicant shall provide the Planning Office with certification from a licensed engineering firm that the roadway within the access strip was constructed according to the approved subdivision plat and in compliance with Henrico County road design standards and specifications (except as to pavement width) to include proper compaction of the sub-base soils, utility trenches, base stone and asphalt surface. Front yard setbacks along Francistown Road shall be measured from the western curb line of the 20 foot access strip and the setback shall be a minimum of twenty (20) feet from the access strip.
7. **Exterior Materials.** At least fifty percent (50%) of all of the homes constructed shall have a minimum fifty percent (50%) brick on their front elevation. The front elevations of any home fronting Francistown Road shall be all brick. All homes utilizing all brick on the front elevation shall have the brick wrap at least 12 inches along the corner of the side elevation. Applicant shall maintain a record of the approximate amount of such brick used on the front elevation of each home and shall provide such list when and as requested by the County.
8. **Architecture.** Various design elements will be incorporated to provide variety amongst individual units including, but not limited to, the following: varying colors of brick, brick accents (including, but not limited to, arches with or without

keystones, soldier courses, quoin corners, and accent coloring different from any main brick coloring), varying colors of siding, varying window designs, and varying doorway designs.

9. **Foundations and Front Steps.** All houses shall be constructed on foundations, except for garages and patios. All visible portions of the homes below the first floor shall be constructed with brick or stone. Steps to the main entrance of all homes shall be of brick or stone. Front stoops shall be brick or stone with finished concrete or exposed aggregate landing.
10. **No Cantilevering.** There shall be no cantilevered features including, but not limited to, bay windows and chimneys.
11. **Fireplace Chimneys.** The exposed portion of a chimney shall be constructed of brick or stone. The exposed portion of a flue for a direct-vent gas fireplace shall be constructed of the same material used on the adjacent siding and shall be built on a foundation that is constructed of the same material that is used on the adjacent foundation.
12. **Garages.** Each house on the Property shall be constructed with a two (2) car attached side or rear loading garage. A minimum of fifty (50) percent of the homes fronting Francistown Road shall have rear entry garages. No front-loading garages shall be permitted on the Property.
13. **Francistown Road Planting Strip/Entrance Feature.** A planting strip of twenty five (25) feet in width shall be reserved on any lots adjoining the right-of-way of Francistown Road. A sidewalk shall be provided along the planting strip within the county right-of-way and shall be constructed in compliance with the County of Henrico's standards and specifications for sidewalks. A decorative "wrought iron-style" fence with brick columns shall be provided along the Francistown Road frontage of the Property, such columns not to be spaced farther apart than fifty (50) feet. The fence shall turn the corners at the northern and southern front corners of the Property and extend a distance of twenty-five (25) feet to a column. The fence shall not be closer to the property line than three (3) feet, with the columns not closer to the property line than one and one-half (1 ½) feet and shall not exceed four (4) feet in height. Landscaping installed in conjunction with the entrance feature and planting strip shall include an irrigation system. Such landscaping shall be planted in accordance with a landscape plan as approved by the Planning Commission. The width of this planting strip shall be in addition to the dwelling setbacks required by the Zoning Ordinance. The foregoing landscaped entrance feature shall be substantially in accordance with the plan entitled "Townsend", prepared by McKinney and Company, dated May, 2005 and filed herewith (the "Landscape Plan") (see case file).

14. **Driveways**. All driveways shall be constructed of asphalt, brushed concrete, stamped concrete, exposed aggregate concrete or pavers. No driveway shall have direct access to Francistown Road.
15. **Street Trees**. The neighborhood shall have a street tree landscape plan in which trees shall be planted upon home completion within ten (10) feet of the curb on each side of the roadway at an average spacing of fifty (50) feet between trees. The trees shall have a minimum caliper of 2 ½ inches at the time of planting.
16. **Sidewalks**. Subject to obtaining all required governmental approvals and permits, a sidewalk shall be provided within the road right-of-way adjacent to one side of interior roadways, except for the cul-de-sac at the end of cul-de-sac streets, and shall be constructed to current County road standards and specifications for sidewalks.
17. **Mail Boxes and Lamp Posts**. All improved lots shall be required to have a post lamp and a mail box with supporting post of design and installation in substantial conformity with the example depicted on the Landscape Plan (see case file).
18. **Roads and Curb and Gutter**. Curb and gutter shall be used on all streets (including the twenty (20) foot common access strip) and shall be designed to meet the current County standard for "roll top" curb and gutter and shall measure not less than three (3) feet from edge of pavement to back of curb.
19. **Underground Utilities**. Except for junction boxes, meters and existing overhead utility lines or for technical or environmental reasons, all utility lines shall be underground.
20. **Restrictive Covenants/Homeowners' Association**. Prior to or concurrent with the recordation of the first subdivision plat approved by the County and before the conveyance of any portion of the Property covered by said subdivision plat (other than for the dedication of easements, roads or utilities), a document shall be recorded in the Clerk's Office of the Circuit Court of Henrico County, Virginia, setting forth controls on the development and maintenance of such portions of the Property. In addition, there shall be a Homeowners' Association of the owners of lots in the subdivision that shall be responsible for the enforcement of the restrictive covenants, including, but not limited to, maintenance of the lots and common areas.
21. **C-1 Zoning**. Applicant shall file an application for C-1 Zoning for the areas within the Property that are within the 100 year flood plain, unless such areas are needed for roads, access ways or other purposes approved or required by the Planning Commission or any other governmental body or official at the time of subdivision approval. Such rezoning application shall be filed as soon as

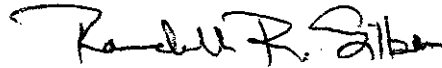
reasonably practical, but in no case later than the date of the recordation of the last subdivision plat for the last lot platted on the Property. The acreage then zoned C-1 may or may not be included in any subdivision or lot on the Property, at the sole discretion of the Applicant.

22. **Severance**. The unenforceability, elimination, revision or amendment of any proffer set forth herein, in whole or in part, shall not affect the validity or enforceability of the other proffers or the unaffected part of any such proffer.
23. **Privacy Fences**. No wooden stockade or privacy fences shall be allowed on the Property. A white solid vinyl privacy fence a minimum of six (6) feet in height shall be provided along the property line in common with the MCI property adjacent to lots 23 through 29 and the side of the rear yard of lot 31 as such lots are shown on Exhibit A (see case file). Fencing along the property line in common with Echo Lake Elementary School (the "School") shall be provided and limited to either white solid vinyl privacy fences a minimum of six (6) feet in height, or black vinyl coated chain link fences with supplemental landscaping. The extent of the aforesaid fencing along the property line with the School shall be determined by the Planning Commission at the time of Plan of Development and/or subdivision review by taking into account existing fencing and plantings for the BMP on the School property, pedestrian access to the School property, if desired, and general topographic conditions. All other fences shall be limited to forty-two (42) inches in height and shall be of a design and installation as specified in the Subdivisions' Covenants and Restrictions.
24. **Sod and Irrigation**. The front and side yards of all homes constructed on the Property shall contain sod and irrigation systems.
25. **MCI Tower**. No building dwelling shall be erected within the 150' drop zone as indicated on the Conceptual plan.
26. **Permitted Uses**. The development on the Property shall be restricted to single family detached dwellings and ancillary recreational facilities. There shall be no group care facilities on the Property.
27. **Public Roads**. All roads constructed on the Property shall be constructed and dedicated as public roads, with the exception of the 20' access strip which shall be private and constructed consistent with proffer number 6 above.
28. **Burning Prohibition**. There shall be no onsite burning of cleared trees, stumps branches or construction debris.

Mr. Gibson M. Wright
June 21, 2005
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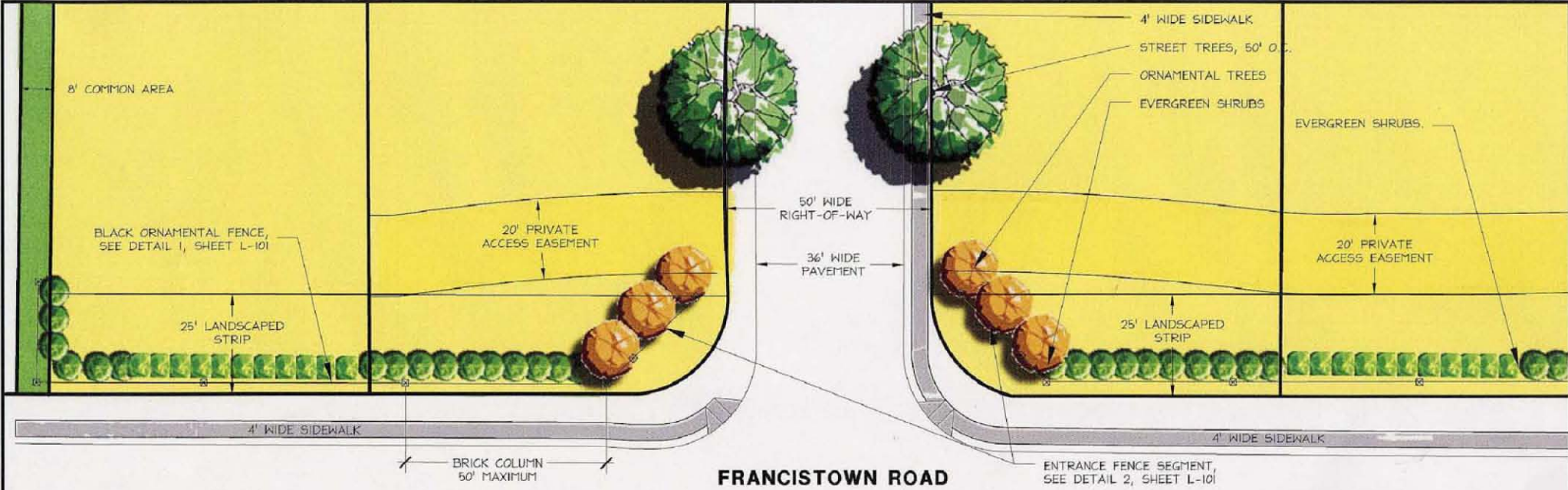
The Planning Department has been advised of the action of the Board of Supervisors and will revise its records and place a copy of the accepted proffered conditions in the Conditional Zoning Index.

Sincerely,



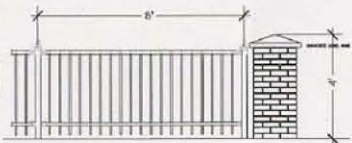
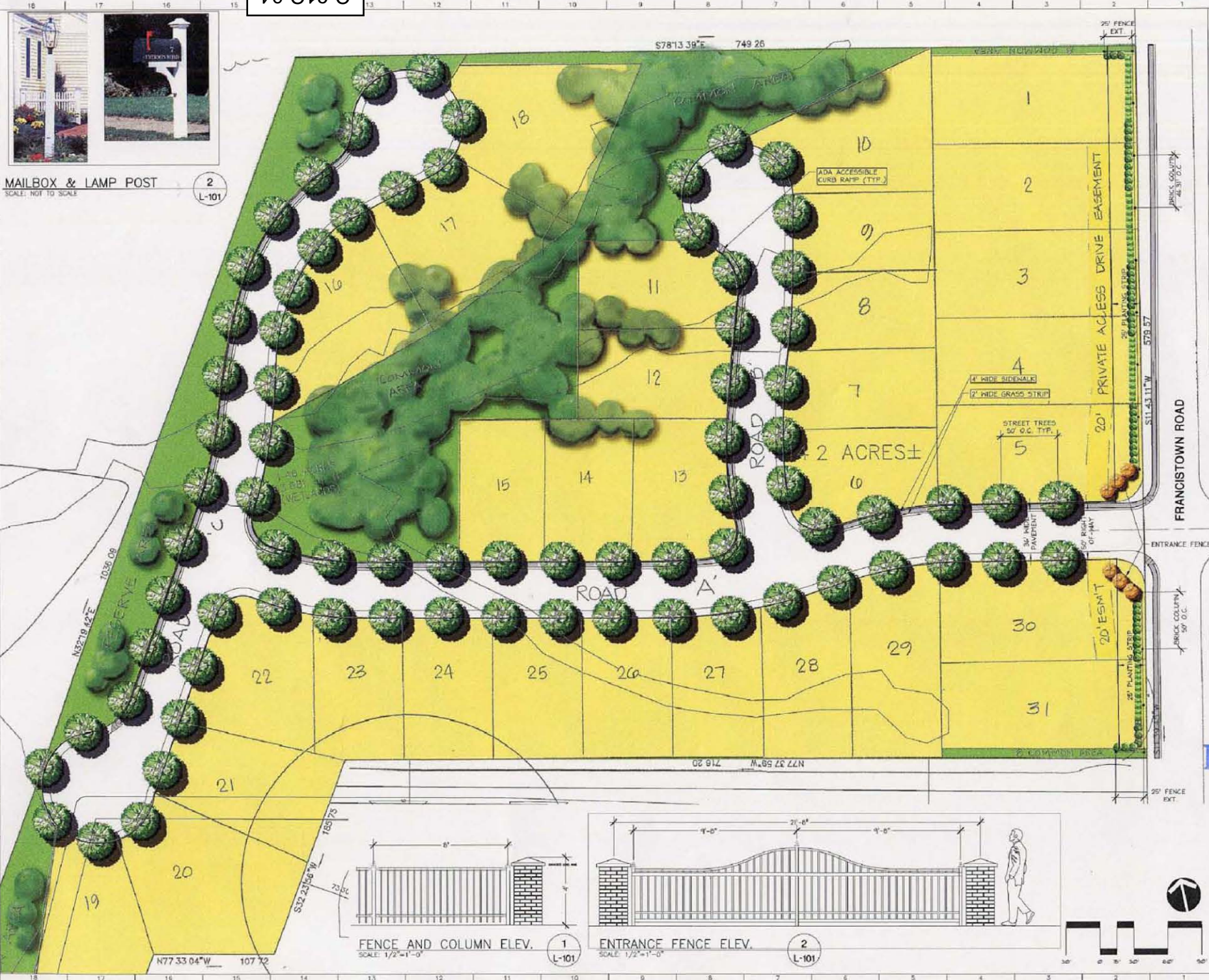
for Virgil R. Hazelett, P.E.
County Manager

pc: Mr. John W. Gibbs, Jr.
Ms. Rosa D. Waddy
Ms. Angie V. Thomas
Mr. William A. Brown
Director, Real Estate Assessment
Conditional Zoning Index
Dr. Penny Blumenthal – Director, Research and Planning

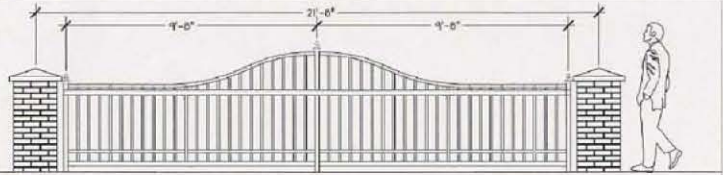




MAILBOX & LAMP POST
SCALE: NOT TO SCALE
2
L-101



FENCE AND COLUMN ELEV.
SCALE: 1/2"=1'-0"
1
L-101



ENTRANCE FENCE ELEV.
SCALE: 1/2"=1'-0"
2
L-101



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PROGRESS PRINT

TOWNSEND
Dominion Land & Development
Henrico County
Virginia

RECEIVED
MAY 31 2005
PLANNING OFFICE
COUNTY OF HENRICO

DATE: 28 May 2005
JOB NO. 12064-05
CAD NO. 2004prdwg
DRAWING TITLE:
AMENITIES
PACKAGE
SHEET NO.
L-101