

Amend Proffers of
Case No. C-63C-03



ZONING
AMENDMENT OF
PROFFERS
Ref. 741-751-7865

C-38C-04

Tuckahoe District

0 400 Feet

June 2004



COMMONWEALTH OF VIRGINIA
COUNTY OF HENRICO

Virgil R. Hazelett, P.E.
County Manager

September 21, 2004

Pocoshock Commons, LLC
c/o Mr. Christopher Rice
1001 Boulders Parkway, Suite 401
Richmond, VA 23225

Re: Conditional Rezoning Case C-38C-04

Dear Mr. Rice:

The Board of Supervisors at its meeting on September 14, 2004, granted your request to amend proffered conditions on Conditional Rezoning Case C-63C-03, Parcel 741-751-7865, described as follows:

Beginning at a point on east line of Pump Road at the intersection with Ridgefield Parkway; thence on a bearing of S62°17'04"E, for a distance of 117.61' to a point on the northerly right of way line of Ridgefield Parkway; thence on a bearing of N58°23'30"E along the north right of way line of Ridgefield Parkway, for a distance of 209.22' to a point; thence on a bearing of N36°06'52"W, for a distance of 368.03' to a point; thence on a bearing of S57°00'20"W, for a distance of 235.77' to a point on the eastern right of way line of Pump Road; thence on a bearing of S34°01'18"E, for a distance of 67.94' along the easterly right of way line of Pump Road to a point; thence on a curve to the right having a radius of 1185.92' and an arc length of 192.47' to the point of beginning, containing 2.024 acres.

The Board of Supervisors accepted the following proffered condition, dated September 13, 2004, which further regulates the above described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

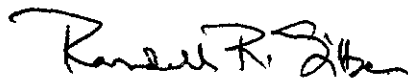
1. Except as amended hereby, all proffers contained in C-63C-03 shall remain in full force and effect and shall by this reference thereto be made a part hereof as if fully set forth herein.
2. A new proffer 21 shall be added to Case 63C-03 as follows:
 21. **Child Care Center Provisions:** Notwithstanding anything contained in case C-63C-03 to the contrary, if the Property is used for a child care center, the following shall apply:

- (a) The exposed portions of all exterior wall surfaces (front, rear and sides) of each building constructed on the Property shall be similar in architectural treatment and materials to each other and to all other buildings on the Property. The exposed exterior wall surfaces (above finished grade) shall consist of wood, brick, stone, glass, architectural precast, EIFS, stucco if applied to a masonry surface or any combination thereof, or other aesthetically comparable finished materials approved by the Planning Commission at Plan of Development review. No building on the Property shall be covered with or have exposed to view any painted or unfinished concrete block, sheet or corrugated aluminum, iron and/or steel or other materials unless requested and specifically permitted at the time of Plan of Development review. All sides of any building on the Property shall employ fenestration to offset building mass. Any building constructed on the Property to be used as a child care center shall have an architectural style and use design elements substantially similar to the elevations shown on the attached Exhibit C (see case file), which such renderings are conceptual in nature and may be revised from time to time as requested and specifically permitted at the time of Plan of Development review and approval. Any building not to be used as a child care center shall comply fully with all requirements of Proffer 12 of Case C-63C-03.
- (b) If the Property is to be used for a child care center, the Property shall be developed generally compatible with the attached sketch (see case file), including the landscaping thereon, attached as Exhibit D (see case file), entitled "PRIMROSE SCHOOL SITE PLAN", dated May 5, 2004, and last revised September 9, 2004, and prepared by PDG architects (the "Child Care Center Plans"), which layout plan is conceptual in nature and may vary in detail. The exact locations, footprints, configurations, sizes and details of the building(s), drives, roads and other improvements are illustrative and may be revised and updated from time to time for engineering or regulatory reasons or other reasons approved at the time of Plan of Development review. Notwithstanding the landscaping within the parking lot shown on the Child Care Center Plans (see case file), landscaping within the parking lot of any development of a child care center shall be equivalent to the extent of landscaping shown on Exhibit B from Case C-63C-03 (see case file). If the Property is not used for a child care center, the Property shall be developed in conformance with the requirements of Proffer 14 of case C-63C-03.

- (c) In addition to the buffers provided for in Proffer 9 of Case C-63C-03, if the Property is used for a child care center, the additional width of the buffers shown along Ridgefield Parkway, Pump Road and King's Grant Drive on the Child Care Center Plans shall be the minimum width required along such rights-of-way for such buffers. The developer and any user of the Property will use their best efforts to save and maintain any existing trees that have a caliper of greater than 15" within the buffer along Pump Road.
- (d) In addition to the buffer requirements contained in Proffer 9 of Case C-63C-03, if the Property is used for a child care center, the masonry fence required along the northeastern line of the Property adjacent to Crown Grant South subdivision shall be extended parallel to King's Grant Drive for a distance of at least twenty-five (25) feet along the interior of the buffer along King's Grant Drive so that the landscaping within such buffer is provided for on the exterior of the fence. Such fence extension shall be no more than six (6) feet in height along King's Grant Drive, but may be less as required by the Planning Commission at the time of Plan of Development approval.
- (e) Any playground or recreation area located on the Property shall be secured at all times by a fence. Unless there is an emergency, access to such areas may only be made through a building or other secured area.

The Planning Office has been advised of the action of the Board of Supervisors and will revise its records and place a copy of the accepted proffered conditions in the Conditional Zoning Index.

Sincerely,



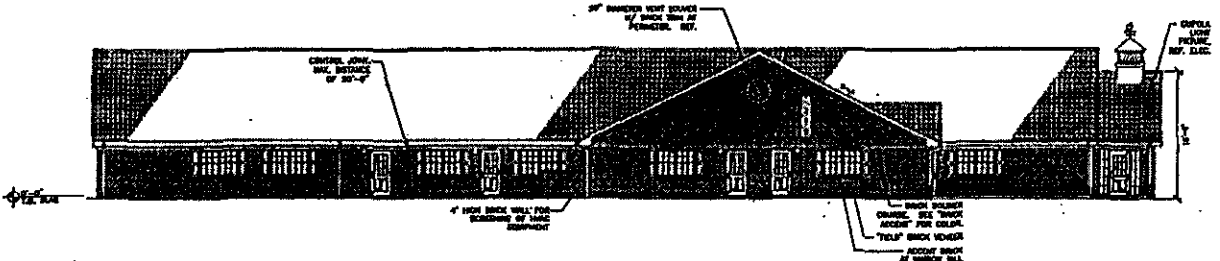
for Virgil R. Hazelett, P.E.
County Manager

pc: Mr. Walter C. Miller
Mr. Andrew Conklin, Esquire
Director, Real Estate Assessment
Conditional Zoning Index

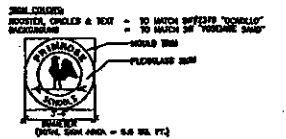
EXTERIOR DOORS, WINDOWS, SHUTTERS	PRIMROSE SCHOOL, BY BENTLEY INDUSTRIAL DESIGN, CONSUMER APPLICATION
EXTERIOR WALL FINISHES, TRIM, ROOFING, LININGS, CEILING, STAIRS, CAPOTA WALLS, SUTTERS AND DOWNPOUTS	PRIMROSE "VENEER" SAND, BY BENTLEY, APPROX 2000 (CONSUMER APPLICATION)
SHUTTERS	WIDE ALUMINUM
DOORS	WALLEN ACME BRICK CO. STYLE 1 SPECIAL "MANSION" 228-128-81-87 BY APPROVED LOCAL CONTRACTOR. MUST BE MATCHED TO BRICK WORK ON MATCH FIELD BRICK SIDE. MATCH FIELD BRICK SIDE.
ROOF SHINGLES	SHINGLE 24" SOLID, TANGULAR SHINGLES, 1-3/4" WITH "WOOD" ACCENT COLOR. UNPAINTED WOOD.
NOTE: ALL ROOF SHINGLES EQUIPMENT SHALL BE PAINTED TO MATCH BRICK COLOR.	
WALL SHUTTERS, REF. 02-00-21	100-AMERICAN BUILDING PRODUCTS WILMINGTON BRICK PANELS, PANEL FINISH, TANGULAR SHINGLES PRIMROSE SCHOOL, BY 02-01-10

EXTERIOR FINISH SCHEDULE (12)

NOT TO SCALE



SOUTH EXTERIOR ELEVATION (09)
SCALE: 1/8" = 1'-0"



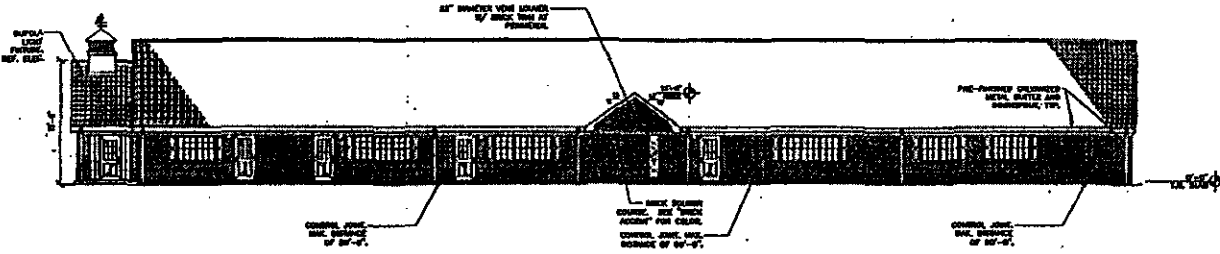
WALL MOUNTED LOGO SIGN (10B)

SCALE: 1/8" = 1'-0"

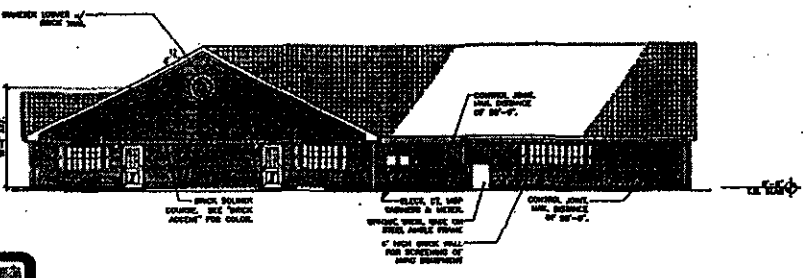


ENLARGED COLUMN ELEVATION (10A)

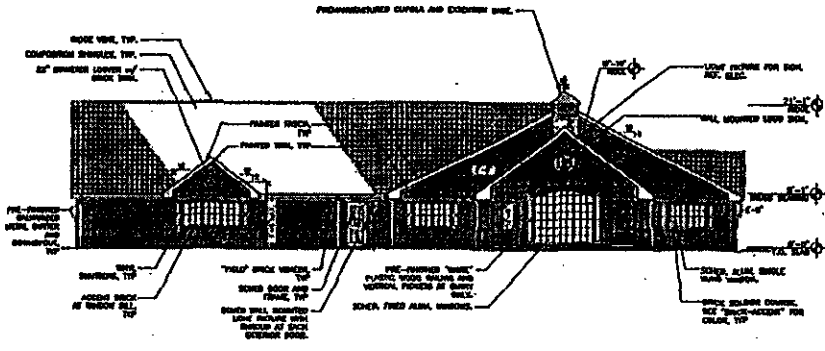
SCALE: 1/8" = 1'-0"



NORTH EXTERIOR ELEVATION (05)
SCALE: 1/8" = 1'-0"



WEST EXTERIOR ELEVATION (03)
SCALE: 1/8" = 1'-0"



EAST EXTERIOR ELEVATION (01)
SCALE: 1/8" = 1'-0"

PRIMROSE SCHOOL
of RIDGEMOUNT
BRANCH
Ridgely Branch, VA

PRELIMINARY ISSUE
THIS DOCUMENT IS PRELIMINARY AND NOT BE USED FOR REGULATORY PURPOSES WITHOUT THE SIGNATURE OF THE ARCHITECT.

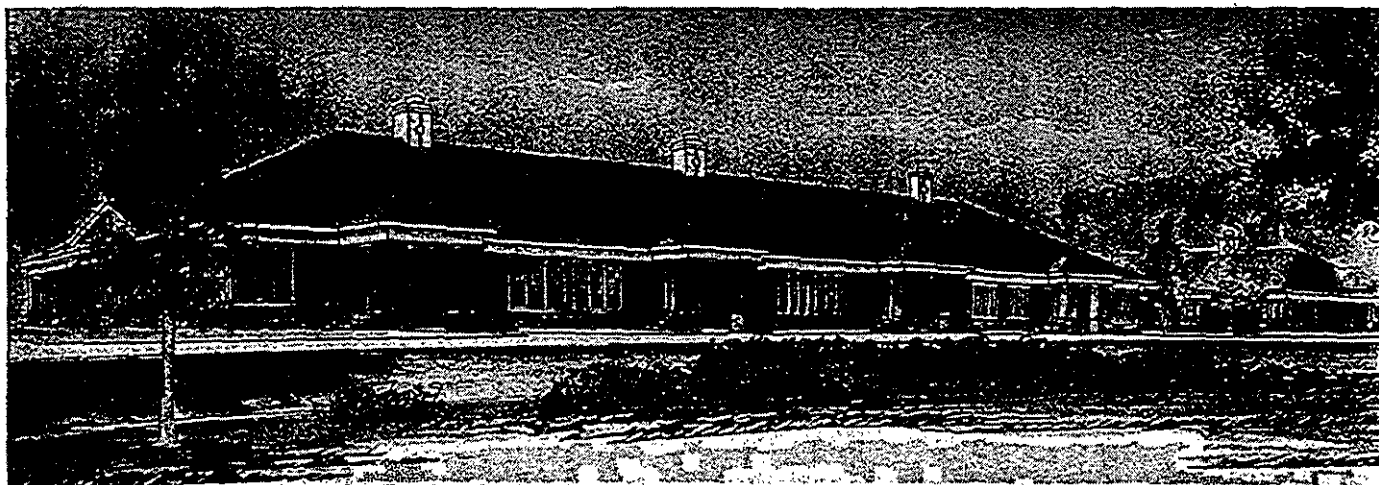
ARCHITECT: JAMES W. HALL, ARCHITECT
1000 W. AVENUE, SUITE 100
FALLS CHURCH, VA 22034

FOR SHOWN FROM EXTERIOR ELEVATIONS

CP-7



C-200-11



SPRINGFIELD PROFESSIONAL CENTER

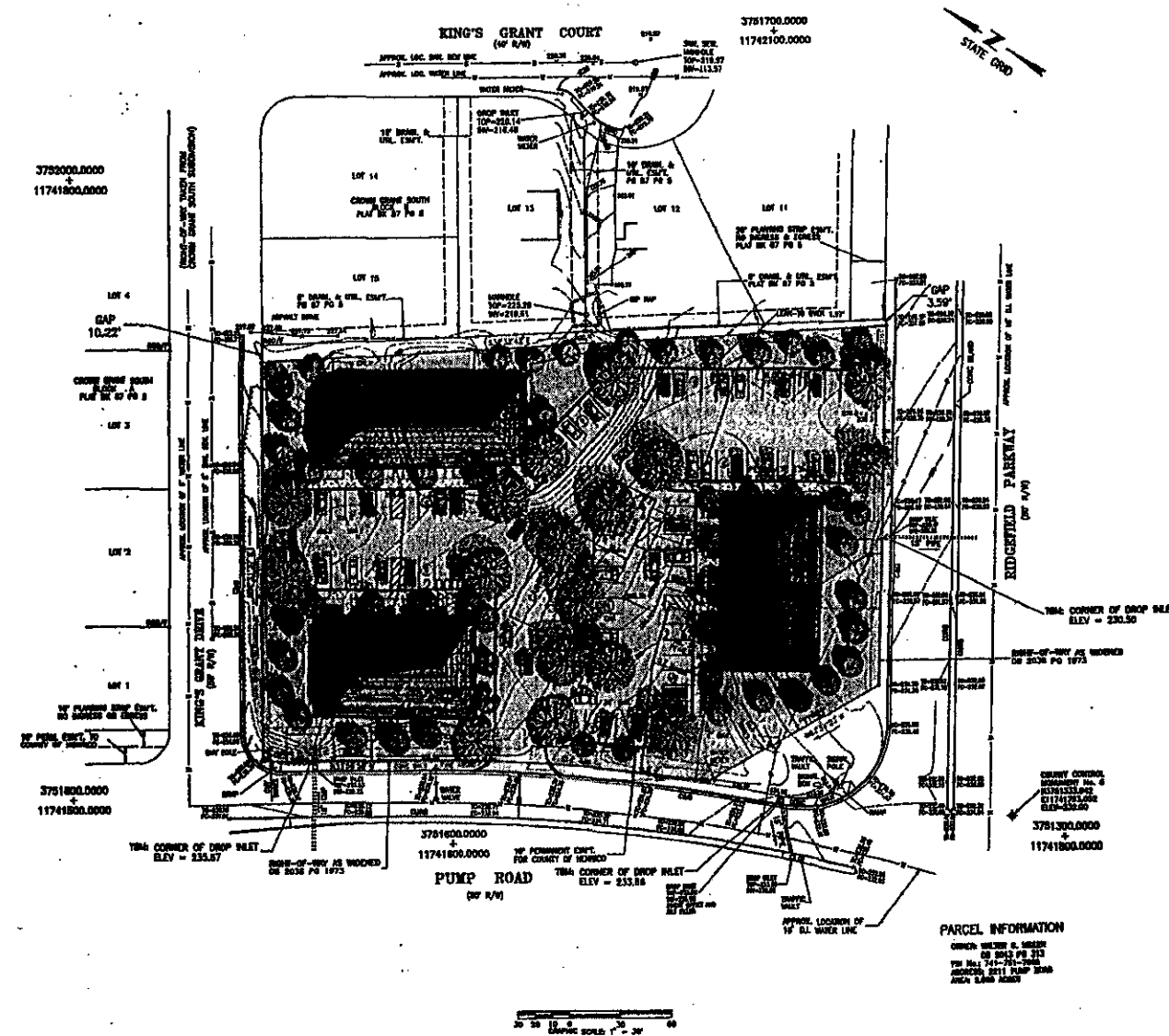
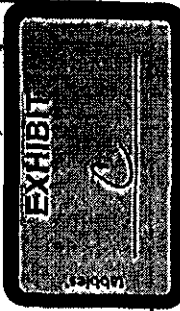
4416 SPRINGFIELD ROAD
GLEN ALLEN, VIRGINIA

C-38C-04

EXHIBIT

B

C-2X-04



NOTES

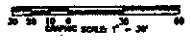
REFERENCE IS MADE TO THE FOLLOWING PLATS:
 "LILLIE & SONS' & SUCCESSORS' SUBD. 80-11-70 AND RECORDED IN 80 1074 PG 1940;
 "MORNING STAR'S SUBD. 86-11-07 AND RECORDED IN 86 2038 PG 1973;
 "COUNTY OF HENRICO SUBD. PLAN RIDGEFIELD PARKWAY DATED 11-02-05 AND RECORDED IN 80 2038 PG 1974;
 "COUNTY OF HENRICO SUBD. 81-06-07 PLATS DATED 11-05-05 PG 194, 195, 274-07104;
 "MORNING STAR OF CHERRY HILLS SUBD. DATED 11-10-07 AND RECORDED IN PG 27 PG 4

CONTOUR AND AT ONE (1) FOOT INTERVALS. VERTICAL CURVE POINTS ON ROAD AND SIDEWALKS SHALL BE THE POINTS SHOWN ON THE PLAN. THE LOCATION OF ALL INTERSECTION POINTS IS APPROXIMATE ONLY AND SHALL BE VERIFIED PRIOR TO ANY CONSTRUCTION. ELEVATIONS, DIMENSIONS, AND RELATIONS SHOWN ON THIS PLAN, ARE BASED ON THE SURFACE. THE EXISTENCE OF ANY PRESENCE OF WATER, IF ANY, WAS NOT A FACT OF THE SURFACE.

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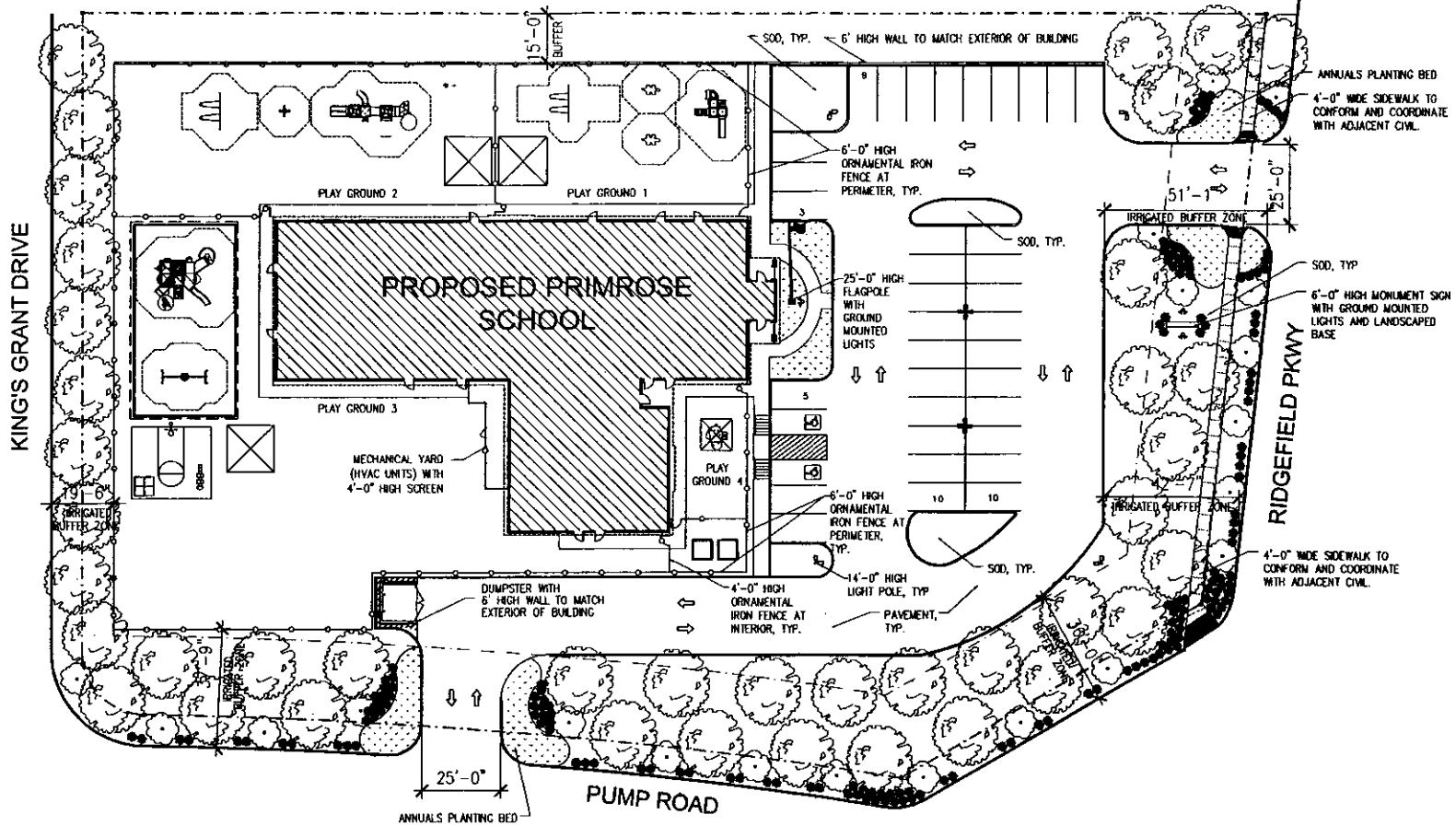
PARCEL INFORMATION
 OWNER: HENRIK & SIBSEN
 20 2028 PG 213
 20 2028 PG 213
 20 2028 PG 213
 20 2028 PG 213

PRELIMINARY SITE PLAN



AS SHOWN 27 OCT 2008	RIDGEFIELD COMMONS 0307-05	
	HENRICO CO. VIRGINIA	
	Dean E. Hawkins, ASLA Landscape Architects & Land Development Planners	
	<small>1000 Monument Road, Suite 100, Henrico, VA 23110 Telephone (804) 261-4000 Fax (804) 261-4001</small>	

CROWN GRANT SOUTH SUBDIVISION



PRIMROSE SCHOOL
of RIDGEFIELD
BRANCH
Ridgefield Branch, VA

PRELIMINARY
ISSUE
THIS DOCUMENT IS
PRELIMINARY AND MAY
NOT BE USED FOR
REGULATORY APPROVAL,
PERMIT OR
CONSTRUCTION.
JASON BEAL-013102
June 13, 2004

JASON W. BEAL ARCHITECTURE
11140 WOODLAND AVENUE
HOUSTON, TEXAS 77036
713-444-1470 FAX: 713-444-1471
www.jasonbeal.com

NOTES

- Height of Building = 21'-0"
- Lights limited to 18'-0" in height
- Lights to be produced from concealed sources
- Utility lines to be installed underground
- Outside speakers are prohibited
- Detached signage limited to 6'-0" in height
- HVAC located no closer than 20' from the NE boundary line as shown (Shown at 120' from NE boundary)
- No access on King's Grant Drive as shown
- No trash pick up, parking lot clearing, or leaf blowing as referenced

SITE DATA

Building Area: 10,180 SF
 Lot Area: 80,900 SF = 1.85 Acres approx.
 Provided Parking: 36 Standard Spaces, 2 Accessible Spaces

Site Coverage Calculations:
 Total site = 80,900 SF Total building area = 10,180 SF Total parking/pavement = 24,888 SF
 Total building + pavement = 34,748 = 43 % of total site area < 80 %

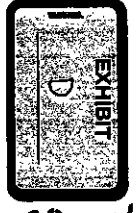
Landscape Calculations:
 788 total linear ft. fronting
 40 large deciduous/evergreen trees (5'every 100 linear feet)
 20 small deciduous/evergreen trees (2.5'every 100 linear feet)
 152 shrubs (10'every 100 linear feet)

Annuals planting beds at driveways and at monument sign

NOT TO SCALE

CONCEPTUAL SITE PLAN 01

DATE: 06/13/04
 DRAWN BY: JWB
 CHECKED BY: JWB
 JOB NUMBER: 0118
 DRAWING NAME:
 CONCEPTUAL PLAN
 DRAWING NUMBER:
 CP-7



C-38C-04