

A-1 to R-5AC  
54.073 Acres



December 2003

**ZONING**  
Age-Restricted  
Residential Subdiv.  
Ref. 806-692-0901

**C-74C-03**



COMMONWEALTH OF VIRGINIA  
COUNTY OF HENRICO

Virgil R. Hazelett, P.E.  
County Manager

March 30, 2004

Mr. Alan Braun  
Hamlin Homes  
3605 Mayland Court  
Richmond, VA 23233

Re: Conditional Rezoning Case C-74C-03

Dear Mr. Braun:

The Board of Supervisors at its meeting on March 23, 2004, granted your request to conditionally rezone property from A-1 Agricultural District to R-5AC General Residence District (Conditional), Parcels 805-692-4564 and 806-692-0994, described as follows:

Beginning at a found rod on the southern line of South Laburnum Avenue (Burning Tree Road) being 230'± east of the centerline of Ansley Road thence along the southern line of South Laburnum Avenue (Burning Tree Road) N60°41'50"E 88.16' to a point; thence along said road along a curve to the right with a radius of 7609.44' and a distance of 562.23' to a point marked by a found rod; thence N64°55'50"E 87.56' to a point marked by a found rod; thence N65°08'11"E 486.15' to a point marked by a found VDOT rod; thence S25°06'58"E 10.59' to a point; thence N75°38'43"E 166.51' to a point marked by a found VDOT rod; thence N87°29'22"E 95.46' to a point marked by a found VDOT rod; thence leaving said road along the western line of Laburnum Avenue S4°10'30"E 86.33' to a point marked by a found VDOT rod; thence along said road S11°35'41"E 58.10' to a point marked by a found VDOT rod; thence S11°27'47"E 14.38' to a point marked by a found VDOT rod; thence 14°39'44"E 140.40' to a point marked by a found VDOT rod; thence S1°23'36"W 56.34' to a point marked by a found VDOT rod; thence S21°18'39"E 71.68' to a point marked by a found VDOT rod; thence S11°14'12"E 175.20' to a point marked by a found VDOT rod; thence S14°32'23"E 98.43' to a point marked by a found VDOT rod; thence S1°50'22"E 67.29' to a point marked by a found VDOT rod; thence S28°35'51"E 67.64' to a point marked by a found VDOT rod; thence along the western line of Ramp C S10°33'37"E 313.64' to a point marked by a found VDOT rod; thence S7°56'16"W 198.40' to a point marked by a found VDOT rod; thence S17°17'03"W 120.87' to a point marked by a found VDOT rod; thence S22°36'00"W 120.14' to a point marked by a found VDOT rod; thence S26°56'13"W 166.41' to a point marked by a found VDOT rod; thence along the northern line of State Route No. 895 S50°41'24"W 732.28' to a point marked by a found VDOT rod; thence S49°33'38"W 328.20' to a point marked by a found VDOT rod; thence S35°39'26"W 35.03' to a point marked by a set

rod; thence leaving said rod N17°09'20"W 171.60' to a point marked by a found rod; thence N17°24'20"W 1733.60' to the point and place of beginning, containing 54.073 acres.

The Board of Supervisors accepted the following proffered conditions, dated March 23, 2004, which further regulates the above described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

1. **Age Restriction.** Except as otherwise prohibited by the Virginia Fair Housing Law, as it may be amended, the federal Fair Housing Law and such other applicable federal, state or local legal requirements, residential development on the property shall be restricted to "housing for older persons" as defined in the Virginia Fair Housing Law.
2. **Trash Service.** Trash pick up service shall be provided for each building and shall not commence before 6:00 a.m. or extend beyond 9:00 p.m.
3. **Underground Utilities.** Except for junction boxes, meters and existing overhead utility lines, all utility lines shall be underground.
4. **Landscaping.** The front and side yards shall be sodded except for areas that are mulched, landscaped, treed or areas that may not be sodded by law. All sodded areas in the front yards shall be served by an underground irrigation system.
5. **Sidewalks.** Sidewalks shall be provided on both sides of all streets. Sidewalks shall have a minimum width of four (4) feet.
6. **Density.** No more than 170 lots shall be permitted.
7. **Fireplace Chimneys.** All fireplace chimneys and gas vents shall be built on brick or stone foundations. Gas or ornamental fireplaces may be wall-vented within chimneys, however, such vented enclosures shall not be cantilevered and must have a base to match the foundation.
8. **Recreational Vehicles.** No recreational vehicle or boat shall be parked on the streets or driveways.
9. **Minimum Unit Size.** The minimum unit size (finished floor) shall be 1,200 square feet. Units larger than two bedroom units shall be a minimum (finished floor) of 1,400 square feet.
10. **Parking.** Each unit shall have a two-car garage.


11. **Paved Parking**. All driveways on each individual lot shall be paved within six months following receipt of a certificate of occupancy. The type of pavement may include asphalt, concrete, aggregate materials and brick or stone pavers.
12. **Roof**. Any roof of any home constructed on the property shall be Class A (fire and wind protection rated by Underwriter Labs) (UL) Fiberglass Asphalt Roof Shingle-Three Tab, 20 year, Mid-weight shingle, self sealing adhesive tab or an equivalent material that has a 20-year expected life.
13. **Lighting**. Street lighting fixtures shall be constructed and maintained along the private roadway system within the property and shall not exceed 15 feet in height.
14. **Fences**. No fence shall exceed 72 inches. All fences shall be approved by Architectural Approval Committee.
15. **Road Standards**. All private roads shall be built to Henrico County standards. Standard six (6) inch curb and gutter shall be used for this development.
16. **Minimum Lot Sizes**. Lots shall have a minimum of 6,000 square feet.
17. **Home Design**. No more than two dwellings in a row shall be identical.
18. **Outdoor Seating**. All dwellings shall have a covered front porch or outside seating area at the front of the dwelling.
19. **Construction Materials**. The dwellings shall be constructed of brick, vinyl, hardplank, dryvit, stone or other permanent building material approved by the Planning Commission at the time of tentative subdivision approval. Thirty-three percent of the units shall have partial brick or all brick fronts. Partial brick shall mean that no less than one-third of the front elevation shall be brick.
20. **Landscaping and Lighting Plan**. An overall landscaping and lighting plan shall be submitted to the Planning Office for review and Planning Commission approval prior to the request for any occupancy permit for any dwelling. The landscaping plan shall include signage placement and fencing at the project entrance and landscaping along Pocahontas Parkway at a depth of not less than fifteen (15) feet.
21. **Bay Windows**. All bay windows shall have brick foundations.
22. **Amenities**. The residents of Settlers Ridge shall be entitled to the use of the community center, pool, outdoor pavilion and walking trail. All residents are

required to be members of the Homeowners' Association and all fees associated with it.

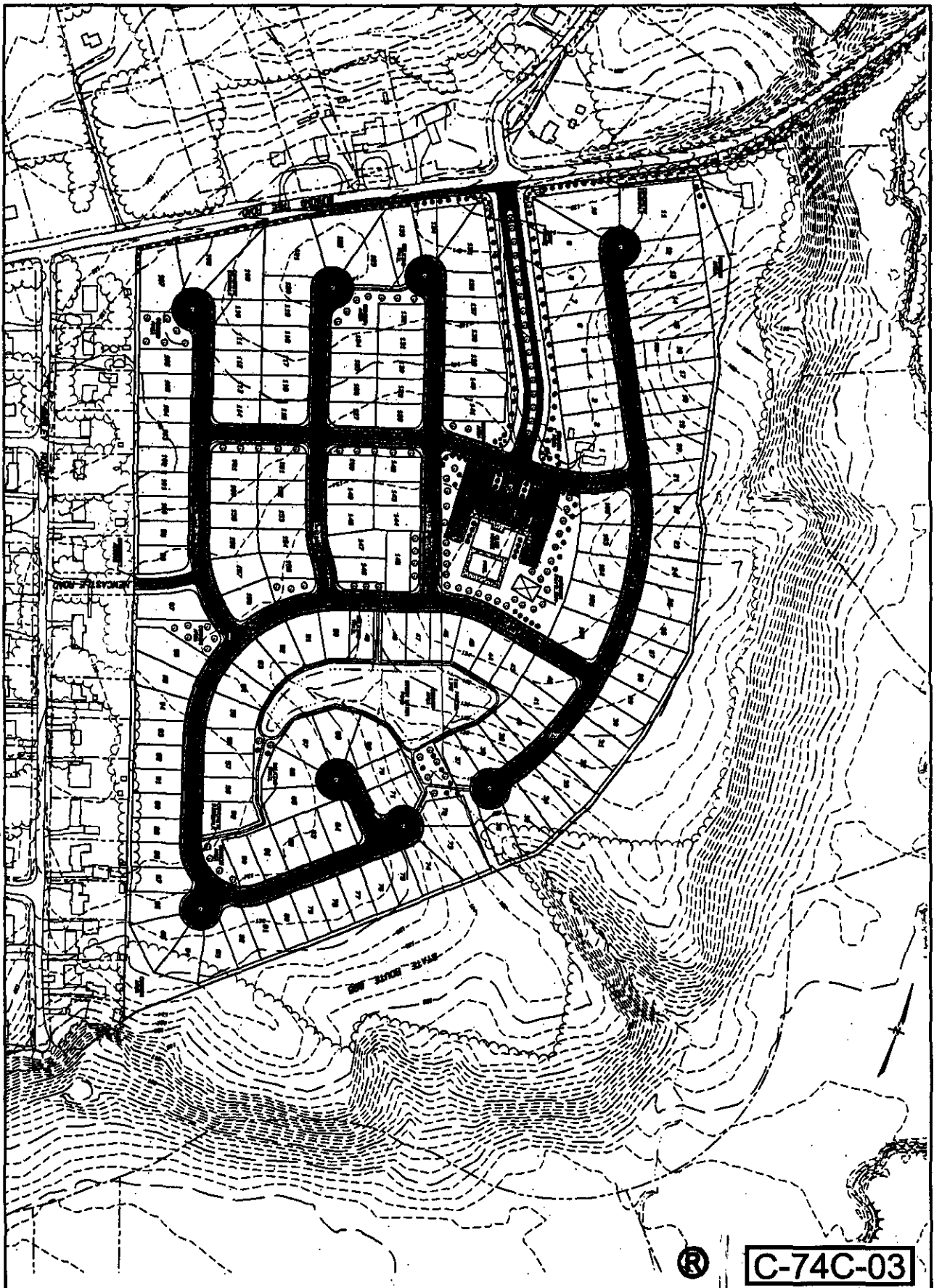
23. **Elevations**. Building design shall be in substantial conformance with the plans prepared by McAllister + Foltz, Architecture, P.C. unless otherwise approved during the plan of development or subdivision process.
24. **Community Center**. The community center shall be in substantial conformance with the plans prepared by McAllister + Foltz, Architecture, P.C. The community center shall have a minimum of four thousand (4,000) square feet and no less than forty (40) parking spaces shall be provided.
25. **Lot Width**. The minimum width of the lots shall be sixty (60) feet as measured at the building setback and the average lot width shall be sixty-five (65) feet.
26. **Signs**. The front entrance signs at Settlers Ridge shall be substantial compliance with the picture submitted with this rezoning case (Addison at Wyndham) (see case file) but shall be constructed of white masonry.
27. **Severance**. The unenforceability, elimination, revision, or amendment of any proffer set forth herein, in whole or in part, shall not affect the validity or enforceability of other proffers or the unaffected part of any such proffer.

The Planning Office has been advised of the action of the Board of Supervisors and will revise its records and place a copy of the accepted proffered conditions in the Conditional Zoning Index.

Sincerely,

  
Virgil R. Hazelett, P.E.  
County Manager

pc: Estate of Margaret R. Harrison  
Mr. William W. Reed  
Ms. Laraine Isaac  
Director, Real Estate Assessment  
Conditional Zoning Index  
Ms. Penny Blumenthal – Director, Research and Planning



® C-74C-03

**SETTLER'S RIDGE**

VERMILION DISTRICT, HENRICO COUNTY, VIRGINIA

**PRELIMINARY LAYOUT**

APPROVED BY: [Signature] CHECKED BY: [Signature]  
 DATE: 07/16/03 PROJECT No. 05488

REVISION		PROJECT No. 05488
NO.	DATE	DESCRIPTION
1	8/14/02	REVISED LOT SIZE
2	1/7/03	REVISED LOT LAYOUT

**EDA** ENGINEERING DESIGN ASSOCIATES  
 ARCHITECTS • ENGINEERS • CONSTRUCTION MANAGERS • SURVEYORS • ENVIRONMENTAL SCIENTISTS

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