

A-1 & RTHC to O-2C  
2.176 Acres

**A-1**

**A-1**

**R-2A**

**R-5C**

**RTHC**

**RTHC**

**A-1**



**ZONING**

OFFICE USE

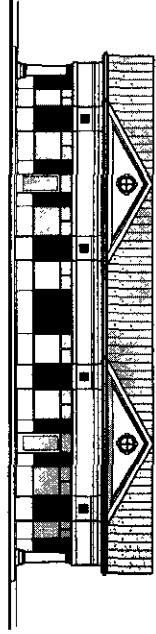
**C-69C-03**

**Fairfield District**

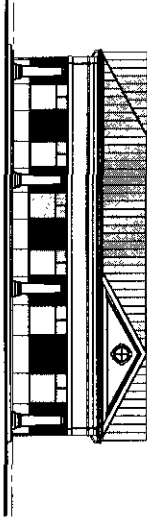
December 2003

Ref. 776-766-3128

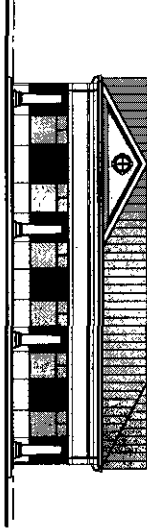
0 200 Feet



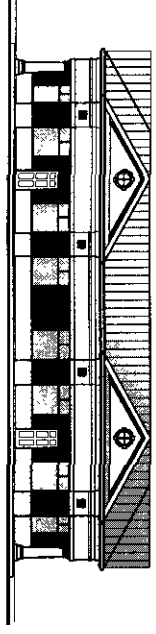
**FRONT ELEVATION**



**LEFT SIDE ELEVATION**



**RIGHT SIDE ELEVATION**



**REAR ELEVATION**

**EXHIBIT 'A'**

**PROPOSED EXTERIOR ELEVATIONS AND FLOOR PLAN**

**RAMSEY PROFESSIONAL OFFICE PARK**  
 STAPLESMILL ROAD  
 HENRICO COUNTY, VIRGINIA

**FREEMAN  
 MORGAN  
 architects**

**A3.1**



COMMONWEALTH OF VIRGINIA  
**COUNTY OF HENRICO**

February 17, 2004

Virgil R. Hazelett, P.E.  
County Manager

Mr. Robert M. Atack  
Atack Properties, Inc.  
4191 Innslake Drive, Suite 118  
Glen Allen, VA 23060

Re: Conditional Rezoning Case C-69C-03

Dear Mr. Atack:

The Board of Supervisors at its meeting on February 10, 2004, granted your request to conditionally rezone property from A-1 Agricultural District and RTHC Residential Townhouse District (Conditional) to O-2C Office District (Conditional), Parcels 776-766-2949 and 776-766-3128, described as follows:

**Parcel 1**

Beginning at the intersection of the south line of Mountain Road and the east line of Old Woodman Road being the place and point of beginning; thence along the south line of Mountain Road S56°29'15"E, for a distance of 165.49' to a point; thence leaving the south line of Mountain Road S38°18'54"W for a distance of 509.11' to a point; thence N51°34'06"W, for a distance of 149.99' to a point on the east line of Old Mountain Road; thence along the east line of Old Mountain Road along a curve to the left having a radius of 1186' and an arc length of 77.15', being subtended by a chord of N28°56'27"W, for a distance of 77.14' to a point; thence continuing along the east line of Old Woodman Road N37°59'33"E, for a distance of 418.85' to the place and point of beginning, containing 1.87 acres.

**Parcel 2**

Beginning at the intersection of the south line of Mountain Road and the east line of Woodman Road being the place and point of beginning; thence along the south line of Mountain Road S56°29'15"E, for a distance of 44.64' to a point on the west line of Old Woodman Road; thence along the west line of Old Woodman Road S37°59'33"W for a distance of 302.67' to a point on the east line of Woodman Road; thence along the east line of Woodman Road along a curve to the left having a radius of 1185.92' and an arc length of 53.18', being subtended by a chord of N20°34'16"E, for a distance of 53.18'; thence continuing along the east line of Woodman Road N19°17'11"E, for a distance of 204.16' to a point; thence continuing along the east line of Woodman Road N71°48'50"E, for a distance of 66.29' to the place and point of beginning, containing 0.31 acre.

The Board of Supervisors accepted the following proffered conditions, dated January 7, 2004, which further regulates the above described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

1. **Architectural Treatment** – Exterior walls visible from public view at ground level at the property line shall be comprised of a minimum of 40% brick exclusive of architectural features and elements such as, by way of example, doors, windows, and dormers. Buildings shall be developed in substantial conformance with the elevation prepared by Freeman + Morgan Architects, dated January 2, 2003 and attached hereto as exhibit A (see case file), unless otherwise requested and specifically approved at the time of Plan of Development review. No unfinished metal, cinderblock, stucco, or beaded board siding shall be allowed.
2. **Landscape Buffer** – A landscape area a minimum of twenty (20') feet in width shall be provided along Woodman Road and Mountain Road and shall be planted to exceed the current Transitional Buffer 10 requirements. The entire site shall be irrigated. Areas not landscaped shall be finished with either sod, seed, or mulch with the exception of parking lots, drive aisles, buildings, and sidewalks.
3. **Underground Utilities** – Except for junction boxes, meters, pedestals, transformers and existing overhead utility lines and for technical and environmental reasons, all utilities shall be underground.
4. **Trash Service** – Trash enclosures for dumpsters shall be constructed of materials similar to that which is used for the buildings. The enclosure shall be gated with an opaque material.
5. **Mechanical Equipment** – Mechanical equipment shall be screened from public view at ground level in a manner approved by the Director of Planning at the time of Landscape Plan approval. Screening material will be a minimum of 6" higher than the mechanical equipment.
6. **Building Size** – Maximum height for any two story building shall be 35' and for any one story building shall be 25'.
7. **Lighting** – All parking lot lighting on the Property shall be produced from concealed sources of light, shall not exceed twenty (20') feet in height above grade level and shall be reduced to no more than a security level following the close of business operations.
8. **Detached Signage** – Detached signage describing the property shall be monolithic style signs, the base of which shall have landscaping. No portable

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signs shall be permitted on the site other than during the construction of the property. No detached sign shall exceed a height of eight (8') feet, as measured from the base of the sign.

8. **Severance** – The unenforceability, elimination, revision, or amendment of any proffer set forth herein, in whole or in part, shall not affect the validity or enforceability of the other proffers or the unaffected part of any such proffer.

The Planning Office has been advised of the action of the Board of Supervisors and will revise its records and place a copy of the accepted proffered conditions in the Conditional Zoning Index.

Sincerely,

  
Virgil R. Hazelett, P.E.  
County Manager

pc: Mr. Timothy & Mrs. Marjorie Ramsey  
Director, Real Estate Assessment  
Conditional Zoning Index  
Dr. Penny Blumenthal – Director of Research and Planning