



REZ2014-00028

NV Retail

Staff Report for Board of Supervisors Public Hearing
Prepared August 1, 2014

This report is prepared by the Henrico County Planning Staff to provide information to the Planning Commission and the Board of Supervisors to assist them in making a decision on this application. It may also be useful to others interested in this land use matter.

I. PUBLIC HEARINGS:

Planning Commission:	July 10, 2014	Recommended for approval
Board of Supervisors:	August 12, 2014	Pending

II. IDENTIFICATION AND LOCATIONAL INFORMATION:

Requested Zoning: B-3C Business District (Conditional)

Existing Zoning: A-1 Agricultural District*

Total Acreage: 62.33 acres

Proposed Use: Retail and office development

Location: North line of W. Broad Street (U.S. Route 250) approximately 1,465' west of its intersection with N. Gayton Road

Magisterial District: Three Chopt

Comprehensive Plan Recommendations: UMU, Urban Mixed-Use and EPA, Environmental Protection Area West Broad Street-West Mixed Use/Village Special Focus Area

Parcel No.: 731-765-8473, 732-765-3978, 732-765-6671, 732-766-7723, 732-766-4043, 732-766-9300, 733-766-1630, and 733-766-6208

Zoning of Surrounding Properties:

North:	Interstate 64, A-1 Agricultural District*
South:	UMUC* Urban Mixed Use District (Conditional), A-1 Agricultural District*
East:	A-1 Agricultural District*
West:	R-6C* General Residence District (Conditional), O-3C* Office District (Conditional)

*West Broad Street Overlay District

III. SUMMARY OF STAFF REPORT:

This request is to rezone approximately 62.33 acres from A-1 to B-3C to allow for a large retail development and office uses. The majority of the site is designated Urban Mixed-Use (UMU) on the 2026 Comprehensive Plan, is located in the West Broad Street-West Mixed-Use/Village Special Focus Area, and is designated as a Prime Economic Development site.

The requested retail and office development is not entirely consistent with the 2026 Comprehensive Plan recommendations for the site. However, given the pattern of development in the vicinity and continuation of quality development features from adjacent development to the west, the proposed zoning and uses could be appropriate. In addition, the proposed design features and proffered conditions would result in a development consistent with the high level of quality in this area of the W. Broad Street corridor. For these reasons, staff supports this request.

The Planning Commission recommended approval of this request at their July 10, 2014 meeting.

IV. LAND USE ANALYSIS AND IMPLICATIONS:

The subject site is located on the north line of W. Broad Street approximately 1,400' west of N. Gayton Road. Interstate 64 is located directly to the north, and the recently approved Broad Hill Centre development is located immediately to the west. Residential development on large lots zoned A-1 are located to the east. The site is also zoned A-1, and is located in the West Broad Street Overlay District (WBSOD), which contains additional provisions for development within the district as specified in the zoning ordinance.

The applicant proposes a retail and office development, with two major retail anchors located on the northern portion of the property adjacent to I-64. The conceptual plan indicates approximately 460,000 square feet of office and retail uses would be constructed. One main entrance into the development would be located on W. Broad Street at an existing median break. This intersection would be improved with additional turn lanes and a traffic signal per the submitted proffers. Access to the development would also be provided via a spine road being developed as part of the Broad Hill Centre development to the west. Broad Hill Centre was rezoned to O-3C, B-2C, R-6C, and RTHC in 2012 (C-18C-12), and will ultimately include the construction of two medical office buildings, 320 multifamily apartments, and 256 townhouses and townhouse-style condominiums. The spine road was designed to continue east and ultimately connect with N. Gayton Road at Blue Ocean Lane, serving as an alternative parallel roadway to W. Broad Street. The conceptual plan shows the continuation of this spine road from the west.

The proposed uses would include several large parking areas, several multi-tenant buildings and smaller outparcels in addition to the two larger (140,000 and 82,000 square foot) buildings located on the northern portion of the site. The applicant has indicated the larger tenants would consist of a Wegman's grocery store and Cabela's sporting goods store with associated outdoor display. Additional integration with the site to the west would be provided by an access point located mid-way between the spine road and W. Broad Street. Development on the eastern portion of the site could be impacted by an existing stream and associated wetlands, and the applicant has indicated development on the property, including the spine road, would accommodate this environmental feature with significant retaining walls due to the severe topography in this area of the site.

In addition to the conceptual plan, the applicant has proffered architectural renderings depicting the proposed Cabela's and Wegman's retail stores as well as the other retail areas on the site. A

proffered rendering of the proposed entrance feature has also been provided. Other major aspects of the proffers are detailed below:

- Road improvements to W. Broad Street, including construction of additional turn lanes and installation of a traffic signal. In addition, the spine road shown on the conceptual plan would connect to the western property line and the Broad Hill Centre development. At the request of the county, a 90' wide right-of-way would be granted to the eastern property line to allow for the continuation of this spine road to N. Gayton Road.
- A number of potentially incompatible uses have been prohibited, and several uses are limited as accessory to a major retail use. Additionally, limitations on outside dining, which is a permitted use in the B-3 District, have been included and are similar to recent provisional use permit (PUP) requests for such uses.
- Hours of operation for uses under 70,000 square feet in area would be prohibited between 12:00 midnight and 6:00 a.m. unless a PUP is granted, and any use operating outside the hours of 6:00 a.m. to 12:00 midnight would have additional security provisions.
- A minimum of 40% of exterior building elevations adjacent to W. Broad Street, the entrance and spine roads, and western property line would be constructed of brick or stone.
- Parking lot lighting poles would be limited to 30' in height.
- Areas used for outside storage, including the proposed boat storage area on the western portion of the site, would be screened in a manner approved at time of plan of development review, and would consist of a wall, fencing, or landscaping.
- Any animal kennel would be located at least 225' from the western property line, and therefore at least that distance from the proposed residential development to the west.
- A minimum of 20% of the site would remain open space, which could include environmental areas, stormwater management features, landscaped buffers, and pedestrian plazas.
- Street trees, with an average spacing of 50' on center, would be provided adjacent to the spine road, and plantings equivalent to a Transitional Buffer 10 would be provided along the entrance road. These plantings would be in addition to code-required parking lot perimeter landscaping.
- Pedestrian enhancements such as extra wide sidewalks and pedestrian crossings with alternative paving materials would be provided throughout the development.
- Pedestrian and landscape plans would be submitted showing the various site enhancements for those design features. These plans would be reviewed and approved by the Planning Commission.
- Loading areas adjacent to Interstate 64 would be screened, and would include enhanced landscaping to limit the visibility of the loading areas from the interstate.
- Electronic signage would be prohibited on the buildings facing Interstate 64.

Other proffers would regulate items such as dumpster enclosures, best management practice (BMP) facilities, and screening of mechanical equipment.

The proposed mixture of retail and office uses is supported by the site's UMU designation, and the proffers provide many assurances of quality; however, the larger expanses of parking and horizontal arrangement of uses reduces opportunities for vertically mixed uses and could impact pedestrian connectivity, in conflict with the UMU designation. While not entirely in keeping with the 2026 Plan, the proposed development would follow the pattern of development established along the north line of W. Broad Street. Additionally, when taken in concert with the heavy concentration of residential and medical office development proposed to the west, this request would provide for a mixture of uses in close proximity to one another, allowing for pedestrian access to various services, employment and housing types. Therefore, while the proposed development is not entirely in keeping with the 2026 Plan recommendation of Urban Mixed-Use, staff believes the

proposed uses could be appropriate provided the development incorporates features recommended for areas designated for UMU, such as pedestrian connectivity, quality design elements, unique architectural character, and the provision of adequate public facilities.

Overall, staff believes this request addresses the recommendations of the Comprehensive Plan through the submitted proffered conditions, which would maintain the high level of quality approved for other similar requests in the vicinity. Design features such as enhanced pedestrian connectivity and landscaping are appropriate, and would be in keeping with the pattern of development in the area. Although the proposed mixture of retail and office uses are not entirely consistent with the site's UMU designation on the 2026 Comprehensive Plan, staff believes the proposed development, properly regulated, would be consistent with the Comprehensive Plan and provide for new retail uses with appropriate quality measures. For these reasons, staff supports this request.

The Planning Commission recommended approval of this request at their July 10, 2014 meeting.

V. COMPREHENSIVE PLAN ANALYSIS:

Land Use Plan Recommendation:

The 2026 Comprehensive Plan recommends Urban Mixed-Use (UMU) and Environmental Protection Area (EPA) for the subject site. This request is not fully consistent with the UMU designation; however, the proposed uses could be appropriate if the concerns identified in Section IV were addressed. Addressing these issues would provide for a development with high-quality design features that incorporate a mixture of uses in a pedestrian-friendly environment, which is consistent with the keystone policies for mixed-use developments in the county.

Vision, Goal, Objectives, and Policies:

If the applicant were to address the items noted in Section IV, this request would be generally consistent with the following Goals, Objectives and Policies of the 2026 Comprehensive Plan:

- Economic Objective 3: Identify and preserve Prime Economic Development Sites for regional level growth and encourage the development of these sites for high tax revenue generating uses.
- Land Use and Community Character Objective 24: Encourage development of large tracts which provide space for a variety of housing types and services as opposed to small, segmented growth.
- General Development Policy 4: Encourage new development to be designed to provide interconnectivity with existing and future developments through the use of stub streets.
- Mixed-Use Keystone Policy 4. Encourage the development of an overall architectural theme for each Mixed-Use project to create a unique community character.

VI. PUBLIC SERVICE AND SITE CONSIDERATIONS:

Major Thoroughfare and Transportation:

A detailed Traffic Impact Analysis was submitted to the county for review on May 30, 2014. Traffic Engineering has provided comments regarding the analysis to the applicant, which may necessitate revisions to the submitted document. Traffic Engineering is continuing to work with VDOT and the consultant (VHB) to address concerns related to the Traffic Impact Analysis. A meeting is scheduled for August 5 to discuss all of the comments made by the County and VDOT.

Virginia Department of Transportation:

VDOT Comments on the Traffic Impact Analysis were received on July 24, 2014. A copy of their comment letter is attached.

Drainage:

- All proposed improvements must comply with all applicable Public Works plan of development requirements.
- The site must comply with applicable water quality requirements. The site is located in a Watershed Enhancement Area.
- Based on information in the County's GIS, floodplain appears present on the site.
- It appears there may be an SPA Stream, an RPA stream, and floodplain on the property.
- Based on GIS, Waters of the U.S. and/or hydric soils are present (indicating possible wetlands) Corps of Engineers and DEQ permits may be required.

Starting on July 1, 2014, the Department of Public Works, Engineering and Environmental Services Division will be operating under the Virginia Stormwater Management Program (VSMP). The VSMP will change the stormwater management design criterion that is presently implemented by the Department. Any project that has not obtained a Construction General Permit by June 30, 2014 will be subject to the new Stormwater Management design criteria.

Public Utilities:

County water is proposed in W. Broad Street with the Broad Hill Centre development. County sewer is located in an easement on the property. County water and sewer are also located in the loop road in Broad Hill Centre.

The proposed use will produce flows that will exceed the projected flows based on the 2026 Land Use Plan. Therefore, an analysis of the downstream sewer system may be required to determine if upgrades to the sewer are needed. The developer will be required to make any needed improvements.

Department of Community Revitalization:

No comment on this request.

Schools:

This request does not involve the addition of any housing thus it does not have any educational impacts.

Division of Fire:

No comment on this request.

Division of Police:

The applicant is encouraged to contact and work with the Community Services Unit within the Henrico Police Division for crime prevention techniques and Crime Prevention Through Environmental Design (CPTED) concepts as a plan of development is drafted to be submitted for review.

Recreation and Parks:

No park or recreation facilities, archeological or battlefield impact Parcel 732-766-4043 has a home site listed in the Virginia Department of Historic Resources as 043-0332 that dates to 1933 and in poor condition. There is a garage and shed outbuildings on this parcel as well. On parcel 732-766-7723 there is a ranch style home that dates to 1954. Neither dwelling has any historical significance, but the architectural style of both structures should be photo documented prior to demolition for our records.

Libraries:

No comment on this request.

Topography and Land Characteristics Adaptability:

The site contains some environmental constraints, including areas of wetlands and 100-year floodplain. The submitted master plan indicates the majority of these areas will be preserved, and staff recommends the applicant minimize any negative impacts to sensitive environmental features.



Proffers for Conditional Rezoning

County of Henrico, Virginia

4301 E. Parham Road, Richmond, Virginia 23228

Henrico Planning Web Site: <http://www.co.henrico.va.us/planning>

Mailing Address: Planning Department, County of Henrico, Virginia, P.O. Box 27032 Phone (804) 501-4602 Facsimile (804) 501-4379

Original Amended Rezoning Case No. REZ 2014-0028 Magisterial District Three Chopt

Pursuant to Section 24-121 (b) of the County Code, the owner or duly authorized agent* hereby voluntarily proffers the following conditions which shall be applied to the property, if rezoned:

Alexis G. Kuye

August 1, 2014

Signature of Owner or Applicant/Print Name

Date

Attorney in Fact

**If applicant is other than Owner, the Special Limited Power of Attorney must be submitted with this application.*

Plan Conformance and Submission

1. Conceptual Master Plan. The Property shall be developed in general conformance with the Conceptual Master Plan attached hereto as Exhibit A titled "West Broad Marketplace," prepared by VHB, dated July 22, 2014 (the "Master Plan").
2. Modifications. Modifications to the Master Plan may be permitted at the time of Plan of Development provided the modifications are generally in keeping with the spirit and character of the overall project, as determined by the Director of Planning.
3. Protective Covenants.
 - a. Prior to or concurrent with the approval of the Plan of Development and before the conveyance of any portion of the Property covered by the Plan of Development (except for a subdivision plat or Plan of Development related to the dedication of easements, roads, or utilities), protective covenants ("Covenants") shall be recorded in the Clerk's Office of the Circuit Court of Henrico County, Virginia. The Covenants shall set forth controls on the development and maintenance of the Property.
 - b. An architectural review process shall be established by the Applicant and set forth in the Covenants for the review and approval of all structures on the Property.

Roads, Drives, Access, and Utilities

4. West Broad Street Improvements. The Applicant shall make the following improvements to West Broad Street:
 - a. One full movement access (the "Entrance Road") on West Broad Street generally midway along the Property frontage.
 - b. Signal installation at the Entrance Road, as approved by VDOT at the time warrants are reached.

- c. An additional left turn lane from eastbound West Broad Street into the Property at the Entrance Road.
 - d. Right turn lane from westbound West Broad Street into the Property at the Entrance Road.
5. Internal Access.
- a. The east west road shown on the Master Plan ("Spine Road") shall be built to the western Property line.
 - b. A ninety (90) foot wide right-of-way easement in a mutually agreed upon location within the "Reserved Area" shown on the Master Plan for the future extension of the Spine Road by others to the eastern Property line shall be granted to Henrico County, upon request. Improvements within the "Reserved Area" shall not preclude the future connection of the Spine Road to the adjacent property to the east.
 - c. A left turn lane shall be constructed westbound from the Spine Road to the southbound Entrance Road.
 - d. Two separate left turn lanes shall be constructed from the eastbound Spine Road into the development located on the north side of the Spine Road as generally shown on the Master Plan.
 - e. The internal access points shall be limited to the number and general locations shown on the Master Plan.
6. Access to West Broad Street. Direct access to West Broad Street shall be restricted to the one entrance generally located and shown on the Master Plan.
7. Underground Utilities. All utility lines on the Property shall be underground, except for junction boxes, meters, existing and/or relocated existing overhead utility lines, and lines in wetland areas. Electrical junction boxes and meters shall be screened from public view at ground level with use of a wall, fencing, landscaping, or such other method as may be approved at the time of Plan of Development.

Uses and Restrictions

8. Construction Hours. If any residential units or dwellings adjacent to the Property line are occupied at the time construction begins on the Property, the hours of exterior construction, including operation of bulldozers and other earthmoving equipment, shall be limited to between 7:00 a.m. and 7:00 p.m., Monday through Friday, between 8:00 a.m. and 5:00 p.m. on Saturday, and between 10:00 a.m. and 4:00 p.m. on Sunday except in emergencies where unusual circumstances require extending the specific hours in order to complete work including, but not limited to, concrete pours or utility connections.
9. Prohibited and Restricted Uses.
- a. Adult businesses as defined in the Henrico County Zoning Ordinance.
 - b. Auto towing service, vehicle storage, and/or repair.
 - c. Automobile car wash, automatic or otherwise, and fuel pumps.

- d. Automobile or truck tires, wholesale or retail, service and/or installation.
- e. Automobile, truck, motorcycle, or bus sales, rental and repair, including towing service and automotive body and paint shops, except that retail passenger car or van rental, such as Avis or Enterprise, shall be permitted.
- f. Bus station.
- g. Cleaning or dyeing; linen service or laundry; furniture repairing or refinishing; cabinet or carpenter shop; plumbing, electrical and heating shop; painting shop; upholstering shop, and similar service and repair establishments.
- h. Dance halls.
- i. Exterminating establishment.
- j. Farm supply and service establishment, implement sales, rental and service, feed and seed store.
- k. Fast food restaurants with drive through lanes shall be limited to two (2).
- l. Fortuneteller, palmist, astrologist, numerologist, clairvoyant, craniologist, phrenologists, card reader, spiritual reader, or similar activity.
- m. Funeral homes.
- n. Landscape contracting and tree service.
- o. Laundromats.
- p. Manufactured home sales.
- q. Outdoor advertising signs as regulated in section 24-104(l)(13) or billboards.
- r. Outdoor flea markets or outdoor antique auctions.
- s. Permanent on-site recycling center.
- t. Public utility service buildings, including facilities for construction and repair, or for the service or storage of utility materials or equipment.
- u. Self-storage facilities.
- v. Shell houses or display houses.
- w. Sheet metal shop or roofing company.
- x. Sign painting and print shops.
- y. Title lenders or establishments whose primary business is check cashing and/or the making of payday loans as defined and regulated by Sections 6.2-2100 et seq. and 6.2-1800 et seq. of the Code of Virginia (the foregoing shall not preclude banks, savings and loans, or similar financial institutions that are not regulated by the foregoing Virginia Code sections).
- z. Truck stops.

10. Accessory Uses. The following uses shall be allowed only as an accessory use to a permitted use, provided any outside storage, repair, or service area is screened from public view at ground level from public rights-of-way or residential uses with use of a wall, fencing, landscaping, or such other method as may be approved at the time of Plan of Development. Display areas for items such as, but not limited to, ATVs, kayaks, canoes, trailers, or boats do not need to be screened.
- a. Animal kennels shall only be permitted as an accessory use to one sporting goods store. If located outside, the kennels shall be located at least 225 feet from any adjacent residential development. Animals shall not be sheltered outdoors longer than six (6) hours and only during daylight hours.
 - b. Trailer or recreational vehicle rental and repair as an accessory to only one permitted use provided no storage or sale of junk or inoperative vehicles is included.
 - c. Boat and boat trailer sales, service, and storage.
 - d. Gun shops, sales or repairs shall be permitted only as an accessory to one sporting goods store.
 - e. A maximum of one rifle or pistol range within a fully enclosed, air conditioned and soundproofed building is permitted as an accessory to one sporting goods store.
 - f. Outdoor speakers shall not be audible beyond the Property line.
 - g. Recreational vehicles shall be parked in a dedicated area on the Property and shall not be parked for any period exceeding forty-eight (48) hours.
 - h. Rental, display, and storage of travel trailers, travel vans, campers and truck camper tops. All vehicles and units shall be in useable condition and none shall be placed in a required front yard.
11. Outside Dining. Any accessory outside dining area shall be permitted on the Property, subject to the following conditions:
- a. The operator shall not permit permanent food preparation areas outside the enclosed building.
 - b. The outside dining area shall not be in operation between 12:00 a.m. (midnight) and 7:00 a.m., unless specifically granted a provisional use permit for extended hours.
 - c. Prior to operation of the outdoor dining area, the applicant shall submit a site plan for the outdoor dining area and obtain Administrative Approval from the Planning Department. The site plan shall show the location of any relocated street furniture, trees/landscaping, and utility lines. Such site plan shall also show landscaping within or along the perimeter of the outdoor dining area to address the reduction and relocation of landscaping, including trees.

- d. A clear, continuous, and unobstructed pedestrian path not less than five (5) feet in width shall be required for pedestrian circulation between the outdoor dining area and the sidewalk curb.
- e. Barriers to the sidewalk and parking area shall be installed and shall complement the building façade as well as any street furniture. The railings shall not exceed thirty-six (36) inches in height and shall consist of commercial grade material for durability.
- f. Outdoor lighting fixtures shall complement the style of building. Lighting fixtures shall be from a concealed source and shall not produce glare for motorists or pedestrians on the adjacent rights-of-way and parking areas and shall illuminate only the outdoor dining area.
- g. Trash receptacles shall be provided and properly serviced to control litter generated by this use.
- h. Access to the outdoor dining area shall be available only through the interior of the building/principal use, except during an emergency when a patio fence exit gate may be utilized.
- i. Prior to operation, the applicant shall consult with the Special Services Unit within the Division of Police to discuss crime prevention recommendations and conduct a security survey of the property and operations. The applicant shall implement mutually agreed upon security recommendations.
- j. The applicant/owner shall be responsible for relocating any street trees or furniture that is displaced by the outdoor dining area.
- k. The facility's windows shall not be obscured by posters, advertisements, or similar materials or tinted in such a manner that prevents surveillance opportunities both from within and from the outside of the building. This shall not prevent blinds from being used during daylight hours.
- l. If calls for police service or other activities on the site dictate the need for security cameras (as determined by the Division of Police), the applicant shall install such cameras. The security cameras and video system shall be designed by a security specialist and shall meet the requirements of the Crime Prevention Unit of the Division of Police.
- m. The owner or operator shall provide adequate lighting for the entrances, exits and parking areas serving the use or location. "Adequate lighting" means lighting sufficient for clear visual and security camera surveillance.
- n. If a fire pit or other outdoor heating element is installed, details of its design and use shall be submitted to the Director of Planning and approved by the Fire Marshal to ensure safety features are in place.
- o. Any gas heaters or other outdoor heating devices shall be affixed to the ground or other surface on which they are placed.

12. Hours of Operations.

- a. The hours of operation for uses less than 70,000 sq. ft. shall be restricted to the hours of 6:00 a.m. and 12:00 midnight, unless specifically granted a provisional use permit.
- b. Any use operating between the hours of 12:00 midnight and 6:00 a.m. shall consult with the Special Services Unit within the Division of Police to discuss crime prevention recommendations and conduct a security survey of the property and operations. Mutually agreed upon security measures shall be implemented.
- c. The facility's windows shall not be obscured by posters, advertisements, or similar materials or tinted in such a manner that prevents surveillance opportunities both from within and from the outside of the building. This shall not prevent blinds from being used during daylight hours.
- d. If calls for police services or other activities on the site dictate the need for security cameras (as determined by the Division of Police), the owner/operator shall install such cameras. The security cameras and video system shall be designed by a security specialist and shall meet the requirements of the Crime Prevention Unit of the Division of Police.
- e. The owner or operator shall provide adequate lighting for the entrances, exits and parking areas serving the use or location. "Adequate lighting" means lighting sufficient for clear visual and security camera surveillance.

Design and Architecture

13. Dumpster Enclosures.

- a. Dumpster enclosures and trash receptacles, not including convenience cans and recycling receptacles, shall be constructed of finished masonry materials (with the exception of gates and doors) where such dumpsters are not already screened or enclosed by a building, structure, or wall.
- b. Gates and doors shall be opaque, sturdy, and designed to minimize visibility from public rights-of-way to the extent reasonably practicable. Concrete pavement shall be used for the refuse container pad and apron.
- c. Convenience cans shall be within or part of a decorative container.

14. Loading Docks/Areas. Loading docks on the Property shall be screened from public view at ground level with use of a masonry wall, dense landscaping, or such other method as may be approved at the time of Plan of Development. Loading areas on the Property shall be screened from public view at ground level with the use of an opaque fence, dense landscaping or other method as may be approved at the time of Plan of Development.

15. Best Management Practices ("BMP").

- a. BMP facilities shall not be located within any landscape buffer located along West Broad Street, unless such facilities are underground or serve

as a landscaping amenity or water-related feature as approved at the time of Plan of Development review.

- b. Any above ground wet BMP facilities shall be aerated.
- c. All above ground BMP facilities shall be designed as an amenity and landscaped or fenced as required by Henrico County.

16. Exterior Materials/Architecture.

- a. The exposed portion of exterior walls (front, rear, and sides) of any building (excluding rooftop screening materials for mechanical equipment) shall be similar in architectural treatment and materials to other parts of the building.
- b. Exterior building wall materials shall be built (above finished grade and exclusive of trim) of brick, glass, EIFS, stone, stone veneer (including artificial stone), split-face block, wood, fiber-cement siding, or architectural-grade metal panels, precast concrete panels, or a combination of the foregoing, using a complementary color palette of materials, unless different architectural treatment and/or materials are specifically approved at the time of Plan of Development.
- c. Any visible sloped roof shall be constructed of slate, simulated slate, standing seam metal, textured fiberglass shingles or shakes, and concrete or composition shingles.
- d. Mechanical equipment shall be reasonably camouflaged or screened from public view at ground level from the streets adjacent to and closest to the building, as approved at the time of Plan of Development.
- e. Buildings shall be generally compatible in character with and complementary in design, style, and materials, with the architectural elevations marked as Exhibits B-1 and B-2 (Cabela's); Exhibit C (Wegmans); and Exhibits D-1, D-2 and D-3, as determined by the Director of Planning, unless otherwise specifically approved at the time of Plan of Development. The determination of compatibility shall be based on scale, materials, form, architectural features, and/or colors. Retail users will be permitted to include prototypical or corporate identification architectural elements in the design of their building or space.
- f. A minimum of forty (40) percent of the facades that are directly adjacent to West Broad Street, the Spine Road, the Entrance Road, and to the property to the west, excluding windows, doors, breezeways, gables, and architectural design features, shall be constructed of brick, stone, or other stone-like products. The facades of buildings adjacent to I-64 and the property to the west shall include architectural detailing and design features such as, but not limited to, quoin treatment, soldier courses, columns, piers, panels, or recessed sections to mitigate the building mass.
- g. Retaining walls shall be constructed of split face block, concrete masonry units, stone, stone veneer (including artificial stone), pre-cast

concrete panels, or a combination of the foregoing, unless different materials are specifically approved at the time of Plan of Development.

17. Parking Lot Lighting.

- a. Parking lot lighting fixtures located within 200 feet of adjacent residential development shall not exceed twenty (20) feet in height. All other parking lot lighting fixtures, unless specifically required by the County, shall not exceed thirty (30) feet in height.
- b. Lighting shall be directed to minimize glare on public roads and adjacent properties.

18. Signage. A sign package shall be provided at the time of each Plan of Development. Any detached sign shall be a monument-style. The monument entrance sign shall be generally in conformance with Exhibit E. Detached signs and electronic signs shall not be permitted adjacent to I-64.

Open Space

19. Open Space and Site Features.

- a. At a minimum, 20% of the Property (as calculated at the time of completion) shall be open space, which shall include any portion of the Property subsequently zoned to C-1 Conservation District.
- b. Open space shall include, but not be limited to, features such as public meeting areas, plazas, landscaping, buffer areas, the pedestrian network, public art, stormwater management facilities, and any environmental features inclusive of floodplain, environmental resources, and wetlands.
- c. A park area shall be provided along Mill Creek or within the Mill Creek 100 foot RPA area in the general location shown on the Master Plan.
- d. The Entrance Road shall be landscaped along both sides with plantings equal to a Transitional Buffer 10 (which shall be in addition to required parking lot perimeter landscaping) from West Broad Street to its intersection with the Spine Road. Benches and refuse containers shall be incorporated within the Entrance Road landscaped areas.
- e. The Spine Road shall have trees planted on both sides of the road at an average spacing of fifty (50) feet on center. The median sections of the Spine Road shown on the Master Plan shall be landscaped. Actual plantings shall be depicted on a street-tree plan to be approved at the time of Plan of Development or Landscape Plan approval.
- f. The caliper of any street trees planted along the Entrance Road or Spine Road shall be a minimum of three and a half (3.5) inch caliper at the time of planting.
- g. Any retaining walls constructed along West Broad Street shall be landscaped to be a design feature similar in appearance to the retaining walls shown in Exhibit E.
- h. A variable width linear park/walk shall be extended along the south line of the Spine Road from the western Property line to the termination of

the Spine Road, generally as shown on the Master Plan. Benches and refuse containers shall be incorporated within the linear park/walk.

- i. A Landscape Plan shall be submitted to the Planning Commission for review and approval. The Landscape Plan shall include the following:
 - (i) Shade trees planted in parking lot islands.
 - (ii) Landscaping or container plantings along building frontages.
 - (iii) Decorative lighting along pedestrian access ways.
 - (iv) Screening methods for the rear of the buildings located adjacent to the western property line.

20. Pedestrian Network.

- a. A Pedestrian Plan shall be submitted to the Planning Commission for review and approval. The Pedestrian Plan shall include, but is not limited to, pedestrian access aisles, sidewalks, walkways, trails, and amenities designed to connect various uses within the Property; to connect to the development located to the west; to connect uses to the major access roads; and to break up large areas of surface parking generally as shown on the Master Plan.
- b. Sidewalks or trails measuring a minimum of five (5) feet in width shall be provided along both sides of the Spine Road and Entrance Road.
- c. Sidewalks shall have a paved surface constructed of concrete, exposed aggregate concrete, asphalt, stone, pavers, or brick. Trails/walks shall be constructed of the sidewalk surfaces listed above or soft surfaces such as mulch, pea gravel, boardwalks, crushed gravel, or loose stone.
- d. Features such as extra wide sidewalks in front of buildings, pedestrian crossings differentiated by the use of alternate paving materials or textures, areas for seating and gathering, and increased landscaping will be used to protect and encourage pedestrian traffic.

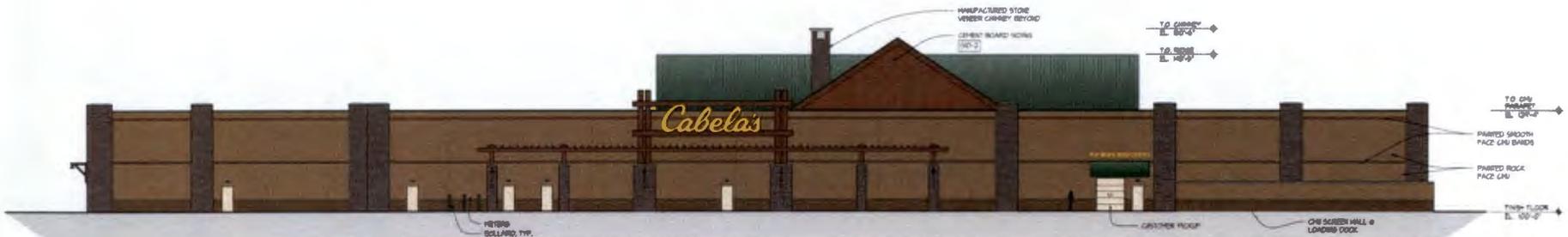
21. C-1 Conservation District. Notwithstanding the uses permitted and required by the zoning of the Property, such portion(s) of the Property which lie within a one hundred (100) year flood plain as determined by definitive engineering studies approved by the Department of Public Works, may only be used for the following purposes:

- a. Stormwater management and/or retention areas.
- b. Ponds, lakes, and similar areas intended as aesthetic and/or recreational amenities and/or wildlife habitats.
- c. Access drives, utility easements, signage, walkways, and recreational facilities installed in a manner to minimize their impacts.
- d. Such additional uses to the uses identified in (a), (b), and (c) above as may be deemed compatible and of the same general character by the Director of Planning pursuant to Chapters 19 and 24 of County Zoning Ordinance.

- e. Prior to filing the final Plan of Development, the Owner/Applicant shall apply to rezone such portions of the Property situated within the 100-year floodplain/special flood hazard area to a C-1 Conservation District. The location and limits of such portions of the Property shall be established by definitive engineering studies approved by the Department of Public Works.
22. Severance. The unenforceability, elimination, revision, or amendment of any proffer set forth herein, in whole or in part, shall not affect the validity or enforceability of the other proffers or the unaffected part of any such proffer.



1 FRONT ELEVATION
NO SCALE



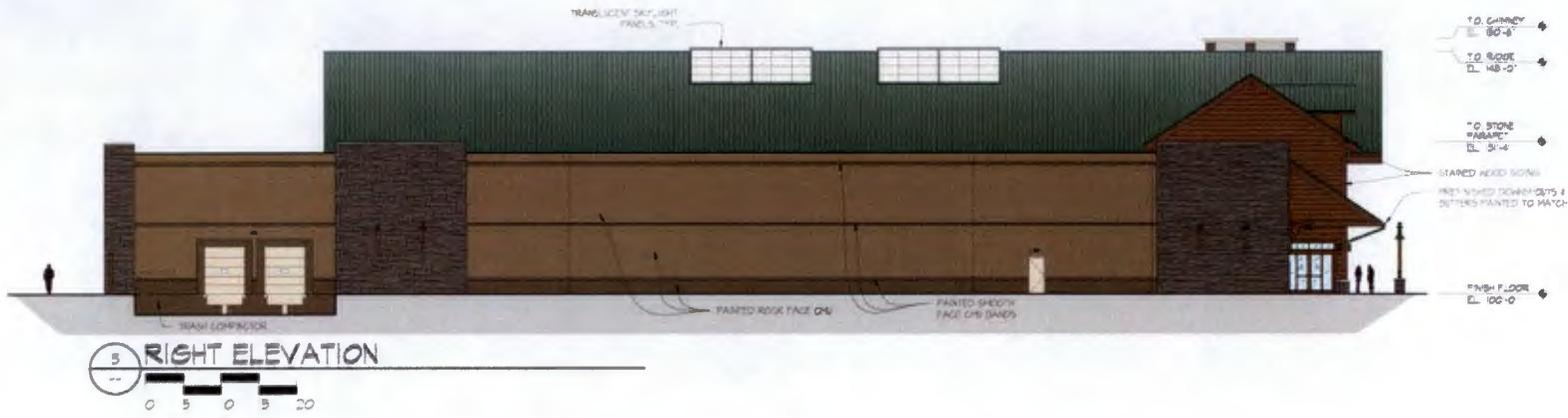
2 REAR ELEVATION
NO SCALE

preliminary
not for construction



CABELA'S RETAIL	PRELIMINARY DRAWINGS SHORT PUMP, VA
07/09/14 P# 14704.1	

REZ2014-00028 Exhibit B-1



preliminary
not for construction



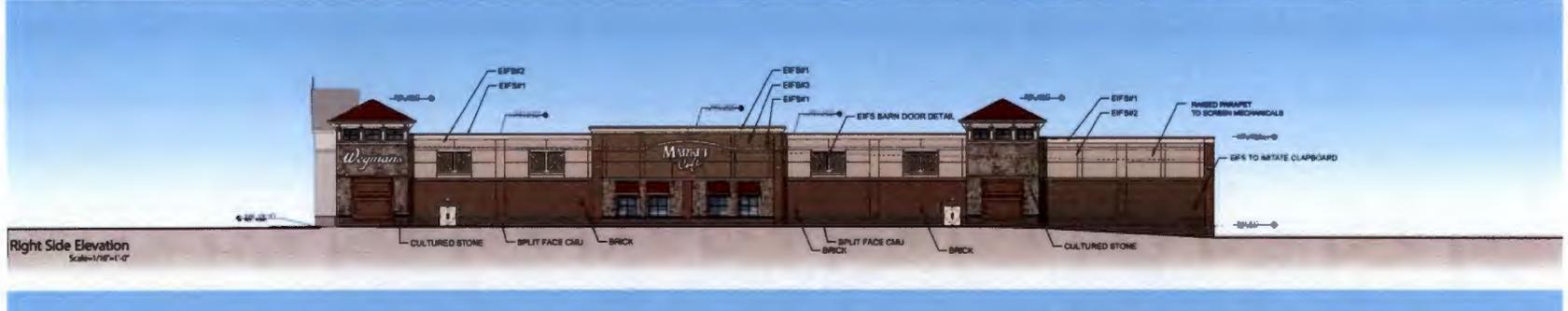
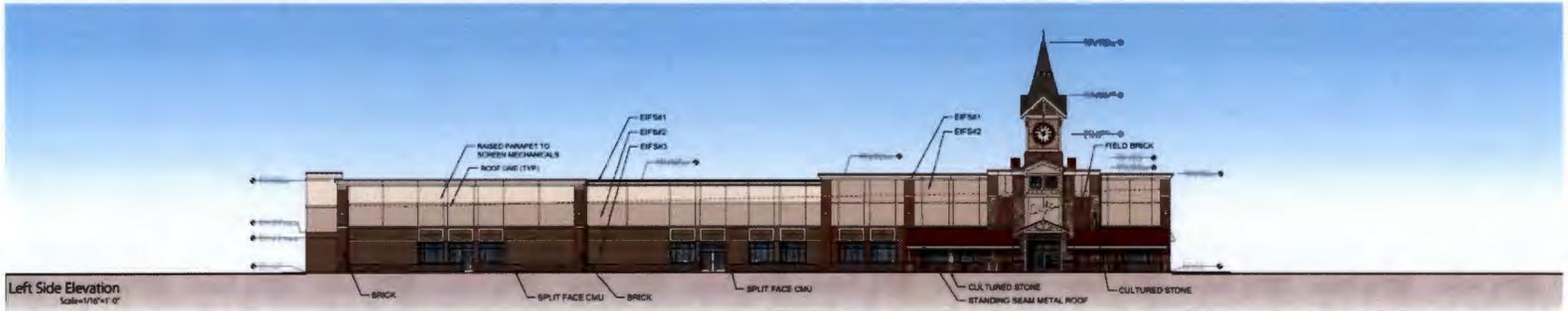
CABELA'S
RETAIL

PRELIMINARY
DRAWINGS
SHORT PUMP, VA

HBA
HOLLAND BASHAM
ARCHITECTS

07/09/14
P# 14704.1

REZ2014-00028 Exhibit B-2



Proposed Short Pump Elevations

4/30/2014



REZ2014-00028 Exhibit C



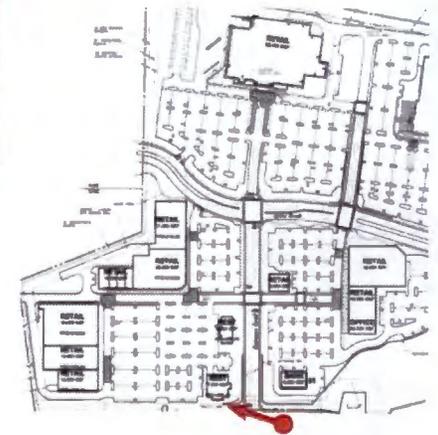
REZ2014-00028 Exhibit D-1



REZ2014-00028 Exhibit D-2



REZ2014-00028 Exhibit D-3



7.8.2014



West Broad Marketplace | design concept

REZ2014-00028 Exhibit E



COMMONWEALTH of VIRGINIA

DEPARTMENT OF TRANSPORTATION
523 N. WASHINGTON HIGHWAY
ASHLAND, VA 23005
Virginiadot.Org

Charles A. Kilpatrick
COMMISSIONER

July 24, 2014

Mr. John Cejka
Henrico County Public Works
P.O. Box 90775
Henrico, VA 23273

Re: West Broad Marketplace-Chapter 527 TIA

Mr. Cejka,

VDOT Richmond District has reviewed the above referenced Traffic Impact Analysis in accordance with Chapter 527 requirements and offers the following comments. It should also be noted that our review focuses on the highway system in which VDOT has maintenance responsibility. It is understood that on County maintained facilities, the County may have comments in addition to those provided below.

1. **Zoning map** – the proposal does not appear to include a rezoning map or description of existing and proposed zoning – please provide in the report (TP)
2. **Internal Capture** – the report does not appear to include documentation on how the internal capture was calculated. Please provide. (TP)
3. **Bicycle/Pedestrian/Transit** – the report does not include a discussion of the existing bicycle, pedestrian, and transit facilities and/or improvements with the development. For example, there are existing sidewalks along both sides of Broad Street in this area. What consideration was given to accommodating pedestrian movements across Broad Street? Please include this discussion in the report. (TP, RTE)
4. **Route 288 NB ramp and Broad Street Intersection** – the LOS analyses in the report tables and text include the intersection LOSes along Broad Street but it appears from the Synchro/Simtraffic analyses that the NB to EB traffic (i.e. the NB rights) at the intersection backs up substantially in many of the scenarios but is not included in the tables or text. This is a “free right” but it needs to be included in the report. Please include the queuing analyses for the NB rights (and associated queues up the ramp) in the tables and text. (TP)
5. **Signal warrant analysis**
 - a. The peak hour warrant does not appear to be applicable at this site. Please provide a justification for the use of the peak hour warrant, or focus signal warrant discussion on the 4 and 8 hour warrants.

- b. Please provide further explanation how the hourly trip distributions were estimated.
- c. Also, VDOT Richmond District TE utilizes the 100% thresholds for signal warrant analysis. Please provide an analysis using the 100% thresholds. A supplemental analysis can be provided using the 70 percent thresholds along with engineering justification for the use of the reduced thresholds. (RTE)

6. Transportation Impacts – Table 1

- a. The results in Table 1 indicate substantial increases in westbound left turn queues at the SB 288 and NB 288 ramp intersections with the proposed development. In the 2022 PM peak, the westbound left turn queue from the NB 288 ramp intersection is projected to extend back through the adjacent signalized intersection at Wilkes Ridge Parkway. This represents a 200% increase in the queue length projected for the 2022 PM without development scenario. Delays are also substantially increased for these movements. The conclusions in the report do not note this impact. Please note this impact.
- b. The queues in Table 1 appear to be reported directly from Synchro and include various footnotes (“m” or “#” which indicate that the reported queues are influenced by upstream metering or demand exceeds the capacity of the approach). One of the locations with these notes is the eastbound left at the site driveway which makes it difficult to assess whether the proposed storage length is adequate. Would SimTraffic be a better tool for estimating queues under these conditions? Please review and revise as appropriate.
- c. Table 1 should also include existing and proposed storage lengths to allow direct comparison of queues to storage. Please provide in the table. (RTE)

7. Recommended / Assumed Improvements

- a. Intersection #6 (Broad at Greengate 2nd Access) – The Greengate TIA includes two access scenarios, one of which provides a Right-right out only access at this location. The second scenario includes a right-in / right-out / left in configuration. How was this addressed in the report? Do the various proposed access points among the various developments satisfy Access Management standards? Please review and note in the report.
- b. Broad Street / Lauderdale – It is not clear that northbound and southbound dual lefts could be made concurrently at this site due to the intersection geometry. Split phasing may need to be retained regardless of the lane configuration. Please review and revise as appropriate.
- c. Conceptual site plan in report shows only two egress lanes from site, but recommendations include 3 egress lanes. Please verify on site plan that adequate egress lanes have been provided. (RTE)

8. Volumes

- a. Is a 2% background growth rate appropriate for this facility? Normally the Scope of Work Meeting Form (signed by the County) or documentation of a traffic count history suffices. Please include the documentation in the report. (RTE)
- b. The Greengate TIA has substantially reduced trips relative to the previous Short Pump Professional Center TIA. Should Green Gate traffic be used instead? Please review and revise as appropriate.
- c. There is existing traffic at the 250 / Wilkes Ridge Parkway intersection due to the presence of the Wawa in the NW quadrant. Why was this traffic excluded from the existing conditions analysis? Please review and revise as appropriate. (RTE)

9. Signal timings in Synchro Files

- a. Signal Timings – Appendix C only has timing plans for 250 and Lauderdale. Where are the timing plans for 250 / Gayton? Existing Synchro files show those two locations running differing cycle lengths in the PM peak. Lauderdale uses a 125 second cycle length in the Synchro file but that is not even one of the cycle length options identified on the timing plan in the Appendix. Please verify all existing cycle lengths and phase splits. (RTE)
- b. 2016 No Build Cycle Lengths – Cycle lengths (140 seconds – AM, 125 seconds - PM) vary from existing conditions. If changes to cycle lengths are proposed, then the entire coordinated system on Broad Street will need to be evaluated for retiming. Changing cycle lengths also makes it difficult to directly compare the results from different scenarios. It would be most appropriate to retain the existing cycle lengths for the initial analysis and then recommend modifications if needed to address impacts.
- c. 2016 Build – Cycle lengths vary from No Build conditions. Please explain how cycle lengths were selected for different scenarios and why adjustments were required.
- d. 2022 No Build and Build Cycle Lengths – Vary from existing in some cases.
- e. 250 / Lauderdale intersection is coded running free in multiple future scenarios. Please explain and / or revise the models.
- f. NB 288 ramp to EB 250 – Coded as stop controlled in multiple scenarios (PM peak primarily). This ramp is not stop controlled. Please revise. (RTE)

In order to expedite revisions to this study, VDOT staff would welcome an opportunity to meet and discuss any and all of the above comments. If you have any questions or require any additional information, please do not hesitate to contact us. If you have any questions, please call me at (804) 752-5522.

Sincerely,

Robert Butler P.E.
Northern Area Land Use Engineer

County of
Goochland

RTHC*

A-1

A-1 to B-3C
62.3 Ac.

BACOVA DR

R-6C*

R-6C

O-3C*

B-2C*

COLD HILL LN

A-1*

THREE NOTCHES LN

W BROAD ST

A-1*

A-1*

R-6C*

B-3C*

UMUC*

A-1*

B-3C*

REZ2014-00028

Zoning

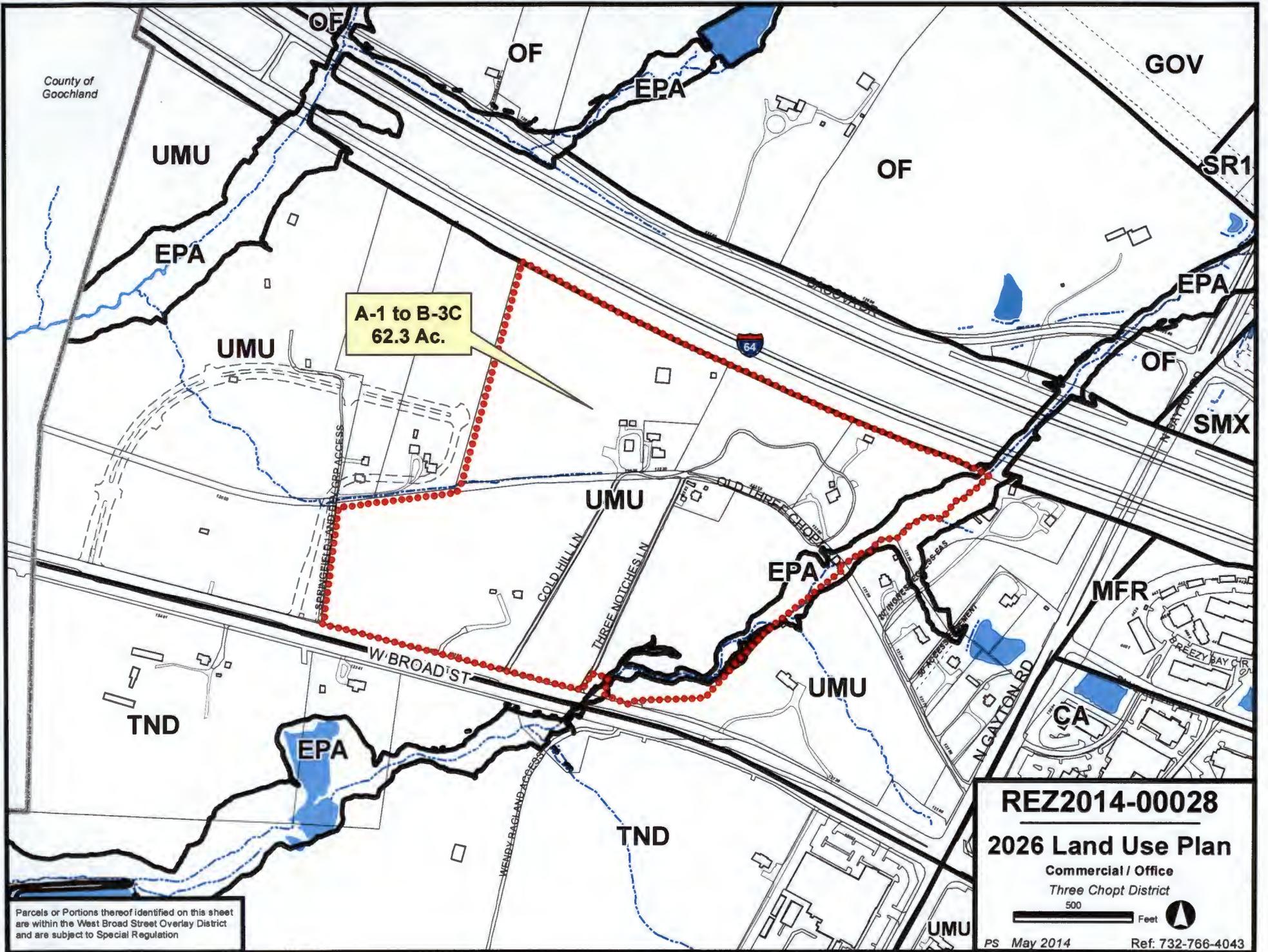
Commercial / Office
Three Chopt District



PS May 2014

Ref: 732-766-4043

Parcels or Portions thereof identified on this sheet
are within the West Broad Street Overlay District
and are subject to Special Regulation



**A-1 to B-3C
62.3 Ac.**

REZ2014-00028
2026 Land Use Plan
 Commercial / Office
 Three Chopt District
 500 Feet
 PS May 2014 Ref: 732-766-4043

Parcels or Portions thereof identified on this sheet are within the West Broad Street Overlay District and are subject to Special Regulation